



AGENDA
CITY OF GLENWOOD SPRINGS
Planning and Zoning Commission
Regular Meeting
JULY 22, 2025
Council Chambers, First Floor
101 W. 8TH STREET
6:00 PM

1 Attendance Instructions

- A. This meeting is held in person as well as via Zoom.

Join at: <https://us02web.zoom.us/j/86380550264>

Or Dial:+1 719 359 4580 US

+1 253 215 8782 US (Tacoma)

+1 346 248 7799 US (Houston)

Webinar ID: 863 8055 0264

International numbers available: <https://us02web.zoom.us/j/86380550264>

2 Roll Call

3 Conflicts of Interest

4 Receipt of the Minutes

- A. April 2025 Planning and Zoning Commission Meeting Minutes Draft

- B. May 27, 2025 Planning and Zoning Commission Meeting Minutes Draft

5 Comments from citizens appearing for items not on the agenda

6 New Items

- A. Planning Item SIGN 041-2025 Off Premise Sign Permit Glenwood Vet Clinic

- B. Planning Item VAR-021-2025 Variance EuroItalian Underground Signage

- C. Planning Item SUP 042-2025 Special Use Permit for Tesla Chargers

7 Commissioner Comments

8 Director Comments

9 Adjournment

MINUTES
CITY OF GLENWOOD SPRINGS
Planning and Zoning Commission

Regular Meeting
April 22, 2025
Council Chambers, First Floor
101 W. 8TH STREET 6:00 PM

1. Roll Call

Present: Commissioners: Joy White, Amy Connerton, Pete Waller, John Houghton, Gregory Cowan, Carolyn Cipperly, Connie Geiman, Alternate Commissioners Patrick Corcoran and Marjorie Lear.

Also Present: Community Development Director Hannah Klausman, City Attorney Karl Hanlon, Senior Planner Jim Hardcastle, Deputy City Clerk Danyelle Rigli.

2. Conflicts of Interest

None

3. Receipt of Minutes

Commissioner Connerton moved to approve March 25, 2025. Commissioner Cipperly seconded. Motion passes with 7-0 vote.

4. Comments from citizens for items not appearing on the agenda

No public comment was offered.

5. New Items

a. Comprehensive Plan Update

Community Development Director Hannah Klausman gave a presentation to the Commission on the 2023 Comprehensive Plan Update detailing the lengthy timeline of the project with extensive public engagement and stakeholder input. Director Klausman explained the purpose, goals, and vision of the Comp Plan and how it can be utilized by the Commission and City Council in decision making.

The Plan is the community's **guide** for making land use decisions and is based on the community's values and vision for the future, however is not a regulatory document like the Municipal Code. The Comprehensive Plan sets the stage for other City plans including

neighborhood or special district plans, capital improvement plans, street and transportation plans, and utility plans.

Legal Counsel also provided insight into details in utilizing comprehensive plan goals in findings for a project with the reminder that it is not the enforceable law that the municipal code is and further pointed out the importance of the Commission's discussion of the project for the record.

Commissioner Questions of Staff:

Commissioners asked for specific details on making findings based on the Comprehensive Plan versus the Municipal Code.

Commissioners pointed out that the comprehensive plan goals are very subjective.

Commissioners recalled that staff had mentioned review and update of the Plan every few years to make sure it is still relevant.

Commissioners asked about the Future Land Use Map and the purpose of the Urban Growth Boundary and what that boundary means.

b. Workforce Housing Advisory Board Update on Affordable Housing Programs

Community Development Director Hannah Klausman gave an update on how the Workforce Housing Advisory Board has been operating and the projects they have been working on including:

- Employee Rental Assistance
- Down Payment Assistance
- Support for West Mountain Regional Housing Good Deeds Program
- Support for Habitat for Humanity Affordable Condo Project
- Support for Canyon Vista Low Income Housing Tax Credit Project
- Mobile Home Park Preservation.

Commissioner Questions of Staff:

Commission made some suggestions on additions to the website for information for Accessory Dwelling Units.

Commissioners asked about specifics of the rental assistance program and how many employers are participating and how many of their employees.

Commissioners asked about several Mobile Home Parks that are up for preservation and what the City is doing in that regard.

6. Commissioner Comments

Commissioners want an update on LIHTC projects and how they work.

7. Director Comments

Director Klausman explained that the May meeting would include a Code Amendment and a Design Variance.

8. Adjournment

Meeting adjourned at 8:15 PM.

DRAFT

MINUTES
CITY OF GLENWOOD SPRINGS
Planning and Zoning Commission

Regular Meeting
May 27, 2025
Council Chambers, First Floor
101 W. 8TH STREET 6:00 PM

1. Roll Call

Present: Commissioners: John Houghton, Gregory Cowan, Connie Geiman, Peter Waller, Amy Connerton, Majorie Lear, Patrick Corcoran

Also Present: Community Development Director Hannah Klausman, Senior Planner Emery Ellingson, City Attorney Karl Hanlon.

Actions: Commissioner Connerton made a motion to seat Alternate Commissioner Lear and Alternate Commissioner Corcoran, motion seconded by Commissioner Cowan. Voice vote taken; motion passed unanimously.

2. Conflicts of Interest

There were no conflicts of interest.

3. Receipt of Minutes

April 22, 2025 Planning and Zoning Commission minutes

Review of April minutes postponed to June meeting.

4. Comments from citizens for items not appearing on the agenda

No public comment was offered.

5. New Items

a. Planning File 10-25 Design Variance, 515 11th Street

Commissioner Geiman recused from the item as their residence is within the 300' public notice distance.

Planner Emery Ellingson presented Planning File 10-25 Design Variance, 515 11th Street with Action Item 1 for approval of a variance for relief from Section 070.040.080(d)(3)(b)(2), Section 070.040.080(d)(3)(b)(3) and *Section 070.040.080(e)(9)(a)* to allow a new garage to access the street and Action Item 2 for approval of a variance from Section 070.040.080(ee)(10)(c)(5)(i) to allow sections of roof with a pitch less than 6:12 within the Downtown Core.

Staff recommended denial of Action Item 1 with findings and conditions in the staff report. Staff recommended approval of Action Item 2 with findings and conditions in staff report.

Commissioner Questions of Staff:

Commission asked for clarification on the Code definition of a hardship.

Staff response: Provided definition that a hardship, per Code, as a condition by which the property cannot be put to reasonable use under existing regulations. Staff also explained how hardship factored into the criteria for a design variance.

Commission asked if the existing curb cut would be altered if the variance were approved.

Staff response: Staff confirmed that the proposed design would not result in an increase in size of the existing curb cut.

Commission question what possible future improvements could occur in the alley.

Staff response: Staff explained that future improvements in the alley could include hard surfacing of the alley to the full extent of the actual right-of-way.

Commission question what percentage of an addition would trigger meeting Code.

Staff response: Staff explained the threshold for triggering design requirements was 20% of the existing home and that the proposed project was a 260% addition.

Commission question on grade change on the existing lot.

Staff response: Staff referenced photos of the site to illustrate the change in grade between Bennett Avenue and the alley.

Commissioner Questions of Applicant

Mara Shultz, Mark Noel Architects, presented on the proposed variance and project.

Commission asked for clarification on what the driveway grade would be coming from the alley and what is typical.

Applicant response: The applicant explained that bringing a driveway from the alley up to grade of site would result in a driveway with a grade of 13% while typical grades are less than 6%. Staff also explained that variances from Engineering Standards are not reviewed by Planning and Zoning Commission.

Commission asked if alley improvements were scheduled

Applicant response: Applicant deferred to staff who explained that this alley was not scheduled for a specific date in the near future.

Commission asked for the age of the home.

Applicant response: Applicant stated the home was built in 1940.

The Commission asked for what the front setback was and from which side and what was preventing adding the garage from the alley in area of lesser grade.

Applicant response: Applicant described that the front setback was 20' from the 11th Street side which prevented a garage being placed with alley access on a part of the lot with a smaller grade difference.

Justin Windholz, property owner, resident of Glenwood Springs briefly discussed the proposed variance and his rationale for designing a garage off the street as well as plans to build an accessory dwelling unit as part of the remodel.

Commissioners asked staff for confirmation of parking requirements for an ADU.

Staff response: Staff confirmed requirement would be 1 space for the single family dwelling and 1 space for an accessory dwelling unit.

Commissioner Waller opened the item to public comment. No members of the public presented to speak. Commissioner Waller closed the item to public comment.

Commissioner Connerton made a motion to approve Action Item 2 with conditions as written in the packet. Commissioner Cowan seconded the motion. Commissioner Waller called the item to question. Motion passed with a vote 6-0.

Commissioner Connerton made a motion to approve Action Item 1 with conditions as written in the packet providing findings including exceptional conditions of the site, benefits to the community, and undue hardship related to physical conditions of the site. Commissioner Cowan seconded the motion.

Commissioner discussion after the motion discussed stormwater and drainage requirements for the lot, intent of the Comprehensive Plan in relation to the proposed variance, existing conditions of the site, condition of the alley, and the design variance criteria.

Commissioner Waller called the item to question. Motion passed with a vote of 4-2 with Commissioners Waller, Connerton, Cowan, and Corcoran voting yes and with Commissioners Lear and Houghton voting no.

b. Planning File ##-## Type Plan, Name

Community Development Director Hannah Klausman presented the proposed Code Amendments to Title 070 with staff analysis of the required approval criteria and recommended findings from Staff. The Commission decided to discuss and vote on each code amendment as a separate item for clarity.

Landscaping applicability for Accessory Dwelling Units

Commissioner questions:

The interior makes perfect sense. But the detached exemption, is there a middle ground to achieve some of landscaping requirements especially in light of the City's programs to buy back turf?

Interior conversion ADU's being exempt from landscaping requirements.

Commissioner Connerton motioned to accessory dwelling unit exemptions from landscaping requirements. Seconded by Commissioner Cowan.

Discussion:

Comments that conserving water is an important goal for the City, and perhaps there is a certain percentage of the landscaping should come up to code. Currently it requires 100% of landscaping to come to code and the proposal is to reduce that to 0%, so maybe there is a lower percentage that is above 0%.

Comments that the cost added to build a small ADU for irrigation or established landscaping is cost prohibitive.

Question on interior conversions and whether there are efficiency requirements for fixtures.

Answer: There are limitation for water flow on appliances.

Updating irrigation to code would possibly provide cost savings in the long run.

Comment that any disturbed landscaping does need to come up to code which provides at least no additional non-conforming landscape.

Motion passes with a vote of 6-1, with Commissioner Geiman voting against.

Stucco as a primary building material

Questions from Commissioners:

Have architects for commercial developments pushed back on not being allowed Stucco?

Staff response: Stucco is an allowed material for commercial buildings. It is only prohibited for residential builds.

Comment that if it is okay for commercial buildings, which receive more abuse, then prohibiting it from primary building entrances on residential development seems unnecessary.

Suggestion that Include Stucco AND EIFS as primary material.

Strike number 2 that prohibits EIFS in high traffic primary building entrances.

Is currently existing STUCCO in the downtown core allowed to keep their Stucco.

Yes, it can be maintained as Stucco, however if a new addition was added, it would not be allowed to be primarily stucco.

Comments that Stucco is likely a more affordable building option and preventing it from being used is a challenge to

Commissioner Cowan motioned to approve the addition of Stucco and EIFS as a primary building material and striking a.2 prohibiting EIFS being used in high traffic areas. Seconded by Commissioner Houghton.

Motion passes unanimously, 7-0.

Paint Color

No Commissioner questions.

Commissioner Connerton motioned to approve the allowance of white and off-white as paint colors in the downtown core. Seconded by Commissioner Cowan.

Motion passes unanimously, 7-0.

Hotel Definition

Staff explains the difference between vacation rentals and hotel uses and that current definitions do not provide adequate direction for staff.

Commissioner questions:

Commissioner Houghton pointed out an error in the staff report for clarification, that currently an on-site lobby is NOT a requirement.

Commissioners went over definitions for Bed and Breakfast, and other lodging uses.

Commissioner Connerton motioned to approve the amended language for hotel definitions. Seconded by Commissioner Cowan.

Motion passes unanimously, 7-0.

Errata Changes

Commissioner Connerton motioned to approve the amended language for hotel definitions. Seconded by Commissioner Cowan.

Motion passes unanimously, 7-0.

Discussion on sidewalks and ADU's

Director Klausman explained that an additional topic up for discussion is the applicability of requiring sidewalks when ADU's are developed. Currently Accessory Dwelling Units that are over 500 square feet trigger the requirement to put in sidewalks. Applicants have the ability to pay a fee in-lieu at the cost of \$60 a linear foot. There are also a list of substandard width streets that Engineering has determined are not appropriate for sidewalks.

Staff explained the challenge between the goals of completing important sidewalk infrastructure to serve the community versus affordability of an ADU project.

Questions and Comments from Commissioners:

Question on what the threshold for interior remodels is that requires sidewalks?

Staff explained it is additions that are over 500 square feet, or changes in elevations consisting of more than 50% of the elevation.

How long does the sidewalk need to be?

Staff response: The entire length of a property that abuts a street. Additionally, corner lots sometimes have two street fronts to provide a sidewalk for. Staff further explained that the Engineering Department has a list of substandard ROW width streets that are not subject to providing sidewalks.

Comment that Single Family remodels or tear downs probably don't occur that often. If there is a street that has no sidewalk and it is single family residential, seems a bit different than if a commercial development comes in.

Question on why the current threshold of 500 square feet was set as it was and whether the threshold needs updating. Perhaps there is another threshold that is more logical to use such as contiguity.

Staff mentioned that there are other requirements in Code related to proximity that could possibly make sense for sidewalks.

Questions on whether the City will initiate building sidewalks in some of these areas.

Staff response: Public Works has a list of identified capital projects that include sidewalks. One example is the Blake Avenue project that included sidewalks, and the sidewalk placed between the Rec Center and the Meadows.

Question on who maintains the sidewalk once it is built.

Staff response: Developers are required to construct the sidewalk then accepted by the City as a public improvement and the City maintains it and owns it going forward.

Comment that perhaps there is a dollar amount spent on a remodel or ADU addition that could be the threshold.

6. Commissioner Comments

- Commissioner Cowan asked for an update on the West Glenwood Springs Mall
- Chair Waller thanked staff for their presentations.
- Commissioner Houghton reported that he has heard good things about the new permitting software.

7. Director Comments

Director Klausman gave an update on the Urban Renewal Authority and an updated plan for the Glenwood Mall. Mrs. Klausman also update the Commission on the old safeway property moving forward with building permits for new tenants and explained that the permits do not trigger any reviews by the Commission.

8. Adjournment

Meeting adjourned at 10:09 PM.

Planning and Zoning Commission Report

Date: July 22, 2025
To: Planning & Zoning Commission
From: Emery Ellingson, Senior Planner
Subject: Planning File 18-25 Off-Premises Sign Permit Glenwood Vet Clinic 2512 S Grand

REQUEST	Consideration of an off-premises sign permit for the installation of an off-site sign for the Glenwood Vet Clinic
APPLICANT	Glenwood Vet Clinic
OWNER	Glenwood Vet Clinic
LOCATION	2512 S Grand
ZONE	CO Commercial
SIGN DISTRICT	Highway 82 - South
SURROUNDING LAND USES	North: Residential South: Mixed Use Commercial/Residential East: Commercial/vacant land West: Surface parking, mixed use residential and commercial
LOT SIZE	29,185 square feet

ACTION ITEM

Per Section 070.040.110(k)(2) of the *Glenwood Springs Municipal Code* (Code), the Planning and Zoning Commission (Commission) is the deciding body for an Off-Premises Sign Permit. The staff recommendation is as follows:

Action 1 – Variance Request – to consider approval of an Off-Premises Sign Permit to allow the Glenwood Vet Clinic to install an off-premises monument sign at 2512 South Grand Avenue.

Staff recommendation: *Staff recommends approval of the Off-Premises Sign Permit with findings and conditions on page 4 of the staff report.*

BACKGROUND

Code defines an off-premises sign as “any off-premises sign, including without limitation, a billboard or general outdoor advertising device, that directs attention to a use, product, service, or activity conducted, sold, or offered elsewhere than on the same property or within the same building upon which such sign is located”. As shown in the map below, the Glenwood Vet Clinic is located at 2514 South Grand Avenue and their proposed sign location is at 2512 South Grand, which meets the definition of an off-premises sign.



Image showing proposed off-premises location of a sign for the Vet Clinic

The Glenwood Vet Clinic already has permission from the owner of 2512 South Grand to install a sign as both owners signed an agreement which grants permission for the Vet Clinic to install a sign upon the property at 2512 South Grand.

OFF PREMISES SIGN PERMIT CRITERIA

The criteria for an Off-Premises Sign Permit and staff analysis are listed below:

ACTION ITEM 1	
To consider approval of an Off-Premises Sign Permit according to criteria found in Section 070.040.110(k) Off-Premises Sign Permit	
✓	The off-premises sign will not harm the public or impair the intent or purposes of the Municipal Code or the City’s goals or policies
✓	A significant hardship will result without such off-premises sign
✓	The off-premises sign shall comply with the applicable size, height, placement, and number of signs permitted on the property where the off-premises sign is to be located. The off-premises sign shall be counted against the sign size and type allowed on the property on which it is displayed
✓	If the off-premises sign is proposed in the public right-of-way, such sign shall require compliance with Subsection 070.060.050(f) Right-of-Way Encroachment License

1. The off-premises sign will not harm the public or impair the intent or purposes of the Municipal Code or the City’s goals or policies.

The sign as proposed does not harm the public and as proposed meets the Code. A condition of approval is that the final location of the sign will not impair the vision of vehicles entering South Grand Avenue.

2. A significant hardship will result without such off-premises sign

The unique configuration of the lot where the property has a narrow strip of land providing access to Grand Avenue does not allow any room for signage. Without an off-premises sign, the Vet Clinic would experience a significant hardship. A hardship is defined as “*a condition by which the property cannot be put to reasonable use under existing regulations*”. The ability to place a sign at a property’s access is a reasonable use and under existing regulations and existing site conditions, the only way for the Vet Clinic to accomplish this is with an off-premises sign at 2512 South Grand.

3. The off-premises sign shall comply with the applicable size, height, placement, and number of signs permitted on the property where the off-premises sign is to be located. The off-premises sign size shall be counted against the sign size and type allowed on the property on which it is displayed.

The proposed sign complies with the Code as detailed in table below.

Sign Element	Code Allowance	Proposed
Size	200 square feet	37.7 square feet
Height	6’	4’
Placement	10’ from back of curb	>10’ from back of curb
Illumination	Interior/Exterior allowed	No illumination

4. If the off-premises sign is proposed in the public right-of-way, such sign shall require compliance with Subsection 070.060.050(f) Right-of-Way Encroachment License.

Staff has added the condition that if the applicant wants to locate the sign within the public right-of-way that they also obtain a Right-of-Way Encroachment License.

REVIEWING AGENCY COMMENTS

The following agencies have provided these comments:

Fire Department: Proposed signage would assist with emergency response

Engineering Department: Prior to installation, the applicant will need to provide a sight distance triangle drawing demonstrating the sign will not interfere with visibility for drivers entering Grand Avenue. This has been addressed with Condition of Approval #5.

PUBLIC COMMENT

No public comment has been received.

ACTION ALTERNATIVES AND STAFF RECOMMENDATION:

The Planning and Zoning Commission may approve, approve with conditions, or deny the off-premises sign permit. The Commission may also continue the hearing with a request for specific information necessary to determine compliance with the Municipal Code and city goals and policies.

Suggested Conditions for Approval

1. Applicant shall comply with all verbal representations made in the public hearing, as outlined in all application materials, and/or revised conditions herein and approved by the Community Development Director.
2. The Applicant shall comply with/address all City staff comments related to specific Code requirements prior to the approval of a sign permit.
3. Any future changes or improvements to signage are subject to review and approval of the Community Development Director for compliance with applicable requirements of the Glenwood Springs Municipal Code
4. The owner shall submit a completed sign permit application for the Community Development Department review and approval prior to installation.
5. The applicant shall provide a sight distance triangle drawing to satisfaction of the Engineering Department showing that the sign does not interfere with driver visibility entering Grand Avenue.
6. If the off-premises sign is proposed in the public right-of-way, such sign shall require compliance with Subsection 070.060.050(f) Right-of-Way Encroachment License.

Suggested Findings for Action Item 1

1. The off-premises sign will not harm the public or impair the intent or purposes of the Code or the City's goals or policies
2. A significant hardship will result without such off-premises sign.
3. The off-premises sign complies with the applicable size, height, placement, and number of signs permitted on the property where the off-premises sign is to be located.

ALTERNATIVE MOTION TO DNEY

Action Item 1

Consideration of the approval for an off-premises sign, I move to **DENY** finding that –

1. The off-premises sign ***will*** harm the public or impair the intent or purposes of the Code or the City's goals or policies
2. A significant hardship ***will not result*** without such an off-premises sign.
3. The off-premises sign ***does not comply*** with the applicable size, height, placement, and number of signs permitted on the property where the off-premises sign is to be located.

GLENWOOD VETERINARY CLINIC

2514 Grand Avenue

Glenwood Springs, CO 81601

970.945.5401

gvc@glenwoodvet.com

To Whom It May Concern,

Glenwood Veterinary Clinic (GVC) is attempting to submit an off premise sign permit for a business and directional sign to be built on the southwest corner of 2512 Grand Avenue. After discussion with the owners of 2512 Grand Avenue, the owners of GVC were informed that 2512 does not intend to build their own sign so the new GVC sign will not clutter the area in front of 2512, but will be a directional sign to prevent clients of GVC from inadvertently entering 2512's property from their other entrance. The sign is low clearance and will allow visibility from both directions. In no way can we imagine that this sign will harm the public, on the contrary, this sign will serve as an aid to the public so they know where to turn on an already busy street where cars drive too fast.

GVC is currently sandwiched between a trailer park with no entrance or visibility on the north side, highway 82 with no entrance or visibility on the east side, townhomes with no entrance or visibility on the south side and now three story apartments with one entrance down an easement driveway on the west side. Currently, we have no signage that is visible to alert clients which driveway to enter to arrive at the hospital. Without this sign, it is likely that clients will enter the wrong locations, potentially creating traffic issues and endangering the public as they attempt to find the small driveway entrance to our hospital. Additionally, our hospital services the community's animals overnight and without properly lit signage, we have concerns about our clients being able to find our hospital as their animal is suffering from an emergency.

Thank you,

Sam Johnson, DVM

Owner, Glenwood Veterinary Clinic, Inc.

Shannon Sweeney

41 Danielson Drive / Aspen, CO 81611
Tel: (970) 618-6325 / Email: shannon@sweeneyaspen.com

Barry Johnson
brj1413@me.com

February 22, 2021

Re: 2512 & 2514 South Grand Avenue, Glenwood Springs

Dear Barry:

I am currently under contract to purchase the property located at 2512 South Grand Avenue, Glenwood Springs, CO (the "2512 Property"), and am pleased to have reached an agreement with you, the owner of the neighboring property located at 2514 Grand Avenue, Glenwood Springs (the "Vet Property") regarding various matters pertaining to the development of the 2512 Property and the Vet Property. Specifically, we have agreed as follows:

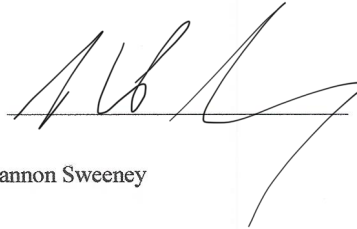
1. The sewer service line and the water service line that currently serve the Vet Property, and which lines are shown on the attached survey (the "Survey"), will be relocated into the Access Road easement area shown on the Survey during the development of the 2512 Property. The 2512 Property owner and the Vet Property owner will execute and deliver a new easement agreement that will: (i) terminate the existing sewer line easement running across the 2512 Property; and (ii) establish a new easement for sewer and water service lines to serve the Vet Property that will run within the Access Road easement area. All costs and expenses associated with moving the water and sewer lines into the easement area, and for preparation of this new easement, shall be borne by the 2512 Property owner, which expenses shall include, without limitation, attorneys fees not to exceed \$2,500 that may be incurred by the Vet Property owner in connection with review and approval of this new easement.
2. The 2512 Property and the Vet Property will both have the right to use the Access Road shown on the Survey for access to their respective properties, and the parties shall use mutual good faith efforts to save the trees now in place near the Access Road. In addition, the 2512 Property shall be permitted to use the existing town homes driveway on the Vet Property as a secondary means of ingress/egress to the 2512 Property for fire department and emergency vehicle usage. All costs associated with construction for ingress and egress to serve the 2512 Property shall be borne by the 2512 Property owner, and any changes to the existing access serving the Vet Property shall be borne by the Vet Property owner. Regarding ongoing maintenance and snow removal of the Access Road, each of the 2512 Property and the Vet Property shall, on an ongoing basis, pay 50% of the cost of snow removal and maintenance associated with this shared access.
3. The 2512 Property owner intends to serve the 2512 Property with high speed fiber optic cable service, and at the time of the installation of such service the 2512 Property owner shall provide the Vet Property owner with a reasonable opportunity to have such service extended to the Vet Property. The costs of installing high speed fiber optic cable to the 2512 Property shall be borne by the 2512 Property owner, and any costs associated with extension of such service to the Vet Property shall be borne by the Vet Property owner.
4. The shed and fence encroachments from the Vet Property onto the 2512 Property that are shown on the Survey shall be removed from the 2512 Property at the expense of the Vet Property owner.
5. The owner of the Vet Property shall be permitted to place a sign for its veterinarian clinic on the north side of the Access Road shown on the Survey.
6. The 2512 Property owner and the Vet Property owner will enter into a new easement to establish a new point of access to be created across the 2512 Property to serve the back yard of the Vet Property, which access shall be located between the building to be constructed on the 2512 Property and the western part of the building now existing on the Vet Property; the parties

will use mutual good faith efforts to establish the exact location and boundaries of said easement area once the final location and dimensions of the building to be constructed on the 2512 Property are determined.

7. The 2512 Property owner and the Vet Property owner mutually agree to execute and deliver any documents as may be necessary or desirable to implement and give effect to the terms of this letter agreement, and the terms of this letter agreement shall run with the land and benefit each of the 2512 Property and the Vet Property and their respective future owners.

Thank you in advance for your consideration and if the terms of this letter meet with your approval please countersign it and email it back to me.

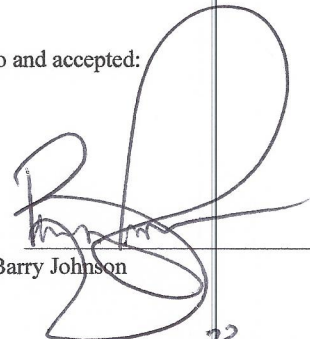
By:



Shannon Sweeney

Agreed to and accepted:

By:



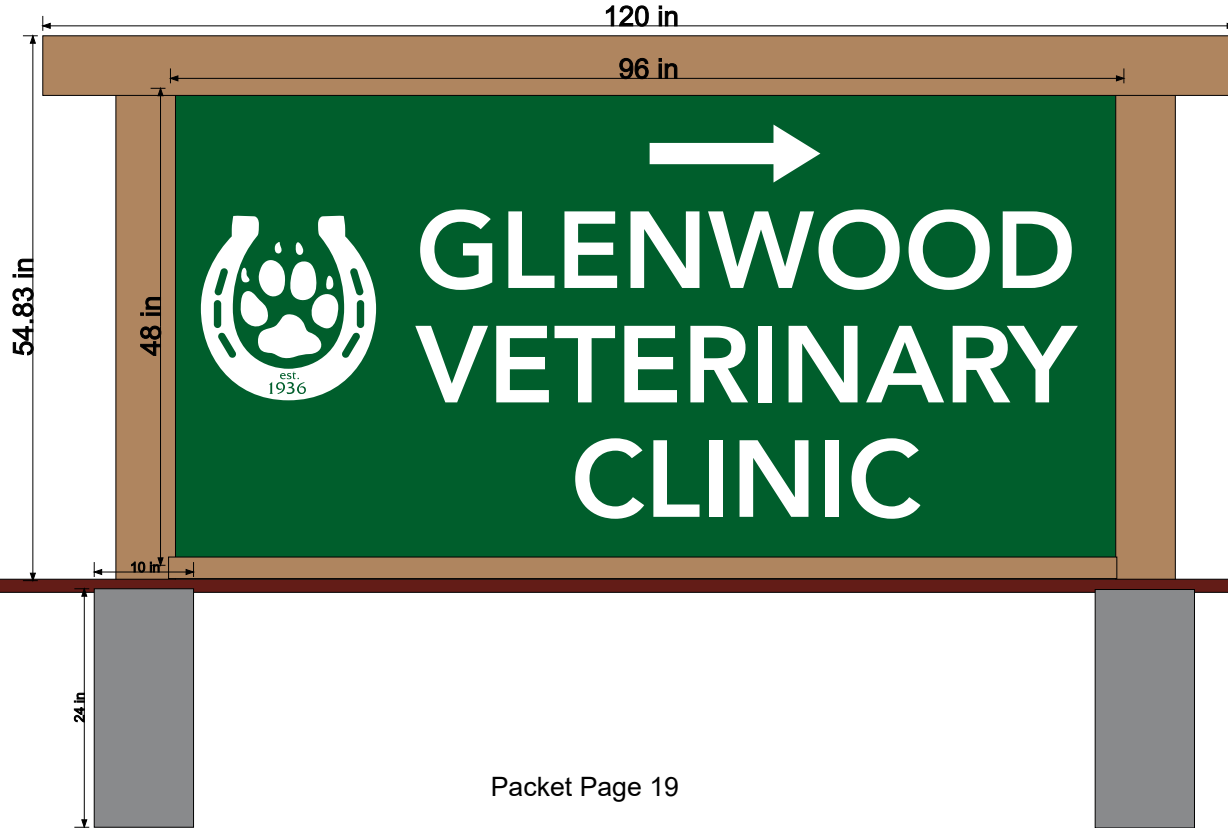
Barry Johnson

Date:

February 23, 2021

2

sign frame installation



Planning and Zoning Commission Report

Date: June 24, 2025
To: Planning & Zoning Commission
From: Emery Ellingson, Senior Planner
Subject: Planning File 15-25 EuroItalian Signage 715 Grand

REQUEST	Consideration of variances for relief from Section 070.040.110 for installation of attached signage.
APPLICANT	Euro Italian Underground
OWNER	Agnieszka Stanford
LOCATION	715 Grand (PIN# 2185-094-06-006) (Downtown Core)
ZONE	M2 Mixed Use Central Core
SIGN DISTRICT	Downtown South
SURROUNDING LAND USES	North: Mixed Use Commercial/Residential South: Mixed Use Commercial/Residential East: Mixed Use Commercial/Residential West: Surface parking, mixed use residential and commercial
LOT SIZE	2,598 square feet

ACTION ITEM

Per Section 070.060.070 of the *Glenwood Springs Municipal Code* (Code), the Planning and Zoning Commission (Commission) is the deciding body for Variance Requests. The requested variances and staff recommendations are as follows:

Action 1 – Variance Request – to consider approval of a variance for relief from: Section 070.040.110(i)(2) Summary of Permanent Sign Standards Table to exceed limit of two total wall, projecting, or roof signs; one per building frontage.

Staff recommendation: *Staff recommends denial of the Variance Request with the findings and conditions on page 10-11.*

Action 2 – Variance Request – to consider approval of a variance for relief from Section 070.040.110(h)(2)(a)(2) to allow a wall sign on a side of a building which does not abut a street, parking area, or other area open to the public and that has a public entrance to the building.

Staff recommendation: *Staff recommends denial of the Variance Request with the findings and conditions on page 10-11.*

LOCATION

The property is located at 715 Grand Avenue in the M2 Mixed Use Zoning District and within the Downtown Core. The Downtown Core is an area of land which includes most of the Original Town Site lots as well as the South Addition which was platted in 1936 and is used as a geographic boundary for some design standards.

BACKGROUND

The applicant, Angie Stanford, purchased the Italian Underground on September 30, 2024. Following the purchase, the applicant updated the three existing signs on the building which were used by the previous owner. The change in signage did not involve any alteration in the location, size, or structure of the existing signage. In addition, the new owner also added a hanging sign within the outdoor dining area which the restaurant leases from the City and a sign on the kickplate of the entrance to the building at 715 Grand Avenue. None of the signage was installed with a permit and the wall sign on the west side of the building requires a variance.

SIGNAGE SUMMARY

The following is a summary of each installed sign, including the one which is subject of the variance request.



East Wall Sign (10 sf)

This sign is in a previously permitted sign area and was a sign face change with no expansion of existing permitted sign area, which complies with Code. Typically, sign face changes are approved with a Sign Face Change permit which have no application fee.

Suspended Sign (2.67 sf)

This sign was a reface of an existing suspended sign which was permitted in 1997. The new sign complies with Code. Typically, sign face changes are approved with a Sign Face Change permit which have no application fee.



Door Sign (2.5 square feet)

Since this sign is less than 3 square feet in area, it can be considered an information sign, as a sign intended to guide persons to facilities intended to serve the public. Information signs do not require a sign permit.



West Wall Sign (10 square feet)

This sign was existing when the applicant bought the building, however, this sign has never been permitted. This sign requires a variance for the following reasons:

Location

Wall signs are only allowed on a side of the building that abuts a street, parking area or other area open to the general public and that has a public entrance. There is a door on this side of the building, however it is not a public entrance.

Number

In a multi-tenant building, each use is limited to one wall, roof, or projecting sign. Since this tenant already has a wall sign on the east side, they are limited to one sign. Buildings with alley access may have one extra sign per building, but only if there is a public entrance off the alley.



Outdoor Dining Area Sign

EuroItalian participates in the City's Outdoor Dining Program which allows restaurants to lease public right-of-way for use as additional dining area. The terms of that lease and the regulations of the Outdoor Dining Program do not allow signs to be attached to the fencing. This sign is not part of the variance review as the process for approval of this sign would be a Right-of-Way Encroachment License. Removal of this sign has been included as a condition of approval, if the Commission were to approve the variance for the wall sign.

Location of each sign as shown below:



ALLEY SIGNAGE

Code allows buildings or businesses with a secondary public entrance on an alley to have an additional attached sign at the secondary entrance at rate of 1/5 the allowed sign area. This allowance is per building and not per tenant. If the west side of the building had a public entrance, this would mean that the building could have one additional wall sign that would be limited to 5 square feet.

PURPOSE AND INTENT OF SIGN CODE

In addition to the variance criteria, any review of a variance should consider the purpose and intent of the Code Section from which relief is requested. Staff has identified several ways in which this variance application meets the purpose and intent of Sign Code Section 070.040.100.

Recognize distinct geographic districts within the City that possess unique characteristics of physical location, building design, land use patterns, and pedestrian and vehicle circulation

The building at 715 Grand, also known as the Silver Club building, is uniquely sited in that it has frontage along two alleys and is prominently visible from three sides, including the west side where it faces a large public parking lot.

Provide for signs within reasonable limitations, consistent with the goals and objectives of the community, to retain the special character and economic advantages that rest largely on the quality of the community's appearance.

As stated, the intent of this Section is to provide signs within reasonable limitations that help to retain the special character and economic advantages the rely on quality of the community's appearance. In most urban environments, alleyways are where the least visually pleasing things such as dumpsters and utilities are relegated. However, alleys can also function as a vibrant public spaces and signage can be useful in softening the visual appearance of an alley. For this building, additional signage that is visible from the public parking lot creates interest and directs people towards Bethel Plaza, an active public space. Without such signage, a visitor may not immediately know where to go. However, too much signage in a particular area can result in an overabundance of signs which does not provide for good wayfinding. The balance between these two undesirable outcomes is what any Sign Code seeks to achieve.



Examples of alleys: Left Photo, Neon Alley in Pueblo, CO. Right Photo, Alleyway, San Francisco, CA

VARIANCE CRITERIA

There are seven criteria for variance approval, all of which must be met. Analysis of the criteria for each item below:

VARIANCE CRITERIA ACTION ITEM 1	
To consider approval of a variance for relief from: Section 070.040.110(i)(2) Summary of Permanent Sign Standards Table to exceed limit of two total wall, projecting, or roof signs; one per building frontage.	
✓	The Subject property has exceptional shape, topography, building configuration, or other exceptional site condition that is not a general condition throughout the zone district
	The strict application of the Code standards for which a variance is sought would produce undue hardship
	The applicant did not create the hardship by his/her own actions
✓	The variance requested does not harm the public and does not impair the intent or purposes of this Code, goals, and policies, including the specific regulation for which the variance is sought
	The variance request demonstrates exceptional hardship not related to purposes of convenience or financial burden
✓	The variance request will not violate building or fire code requirements
✓	The variance is the minimum variance that will afford relief of the subject standards of the Code.

1. The subject property has an exceptional shape, topography, building configuration or other exceptional site condition that is not a general condition throughout the zone district

This subject property is unique for a property within the M2 Mixed Use Central Core Zoning District in several ways. The building does not have any street frontage and only has frontage facing an alley to the north and west and to the sidewalk to the east.

The building also is adjacent to a main pedestrian entry way to Bethel Plaza and the rear elevation of the building is much more exposed than many other buildings in this zoning district where the alleys are flanked by buildings on both sides.

2. The strict application of the Code standards for which a variance is sought would produce undue hardship.

This strict application of Code does not produce an undue hardship that prevents the applicant from reasonably using their property. Whether or not there is signage on the west alley does not create an unreasonable limitation on the use of the property, it just limits the amount and location of onsite signage and visual advertising that is allowed.

3. The applicant did not create hardship by his/her own actions

The applicant did create this hardship by their own actions in that they replaced all the existing signage without the appropriate permit. Had they gone through the sign permit process for the face changes, they would have been notified of the non-conforming status of the alley sign. However, the non-conforming alley sign has existed as an unpermitted since at least 2009 and no actions to remedy this situation have been taken by the building owner, which is a hardship the applicant did not create.

4. The variance requested does not harm the public and does not impair the intent or purposes of this Code, goals, and policies, including the specific regulation for which the variance is sought.

Staff finds that the proposed variance does not harm the public nor impair the intent of the Code. Part of the intent of Sign Code is to *“Provide for signs within reasonable limitations, consistent with the goals and objectives of the community, to retain the special character and economic advantages that rest largely on the quality of the community’s appearance”*. This emphasizes the importance of striking a balance with sign regulations between providing adequate wayfinding signage and allowing excess signage. For this reason, staff finds that although the sign on the west elevation exceeds the limit of one attached sign per tenant, is located on a frontage without a public entrance and exceeds the size limit for a secondary alley signs; it still meets the intent of Sign Code because it helps direct the public towards Bethel Plaza, a prominent public space, without the negative aspects of an excessively large or brightly lit sign.

5. The variance request demonstrates exceptional hardship not related to purposes of convenience or financial burden.

The variance does not demonstrate exceptional hardship not related to convenience or financial burden as the building is already allowed signage on the east frontage as well as the north frontage in the alley which provides for possible sign locations.

6. The variance request will not violate building or fire code requirements.

The requested variances would not violate building or fire code requirements.

7. The variance is the minimum variance that will afford relief of the subject standards of the Code.

The requested variance results in only one more attached sign than the Code allows which makes it the minimum variance that will provide relief of the subject standards of the Code.

VARIANCE CRITERIA ACTION ITEM 2	
To consider approval of a variance for relief from Section 070.040.110(h)(2)(a)(2) to allow a wall sign on a side of a building which does not abut a street, parking area, or other area open to the public and that has a public entrance to the building.	
✓	The Subject property has exceptional shape, topography, building configuration, or other exceptional site condition that is not a general condition throughout the zone district
	The strict application of the Code standards for which a variance is sought would produce undue hardship
	The applicant did not create the hardship by his/her own actions
✓	The variance requested does not harm the public and does not impair the intent or purposes of this Code, goals, and policies, including the specific regulation for which the variance is sought
	The variance request demonstrates exceptional hardship not related to purposes of convenience or financial burden
✓	The variance request will not violate building or fire code requirements
✓	The variance is the minimum variance that will afford relief of the subject standards of the Code.

1. The subject property has an exceptional shape, topography, building configuration or other exceptional site condition that is not a general condition throughout the zone district

This subject property is unique for a property within the M2 Mixed Use Central Core Zoning District in several ways. The building does not have any street frontage and only has frontage facing an alley to the north and west and to the sidewalk to the east. The building also is adjacent to a main pedestrian entry way to Bethel Plaza and the rear elevation of the building is much more exposed than many other buildings in this zoning district where the alleys are flanked by buildings on both sides.

2. The strict application of the Code standards for which a variance is sought would produce undue hardship

Limiting wall signage to frontages that have public entrances does not produce an undue hardship as there are already allowable areas for signage on the east and north elevations.

3. The applicant did not create the hardship by his/her own actions

The applicant did create this hardship by their own actions in that they replaced all the existing signage without the appropriate permit. Had they gone through the sign permit process for the face changes, they would have been notified of the non-conforming

status of the alley sign. However, the non-conforming alley sign has existed as an unpermitted since at least 2009 and no actions to remedy this situation have been taken by the building owner, which is a hardship the applicant did not create.

4. The variance requested does not harm the public and does not impair the intent or purposes of this Code, goals, and policies, including the specific regulation for which the variance is sought

The variance requested does not harm the public nor impairs the intent of Code. The intent of restricting signage to frontages with public entrances is to promote efficient signage that provides direction to an entrance and prevent all sides of a building being covered in signage. Although, this side of the building does not have a public entrance to the building, the adjacent alley functions like an entrance to Bethel Plaza and staff finds that due to the unique location of this building and the adjacent alley, that the sign meets the spirit of the regulation.

5. The variance request demonstrates exceptional hardship not related to purposes of convenience or financial burden

This request does not demonstrate exceptional hardship as the limitation of signage does not prevent reasonable use of the building or the restaurant as there are code compliant locations for signage, of which the applicant is already using.

6. The variance request will not violate building or fire code requirements.

The requested variances would not violate building or fire code requirements.

7. The variance is the minimum variance that will afford relief of the subject standards of the Code.

The requested variance is the minimum that would provide relief as the applicant is only proposing one additional sign than allowed on the side of the building that lacks a public entrance. If the applicant proposed two signs on this side of the building, staff would not find that to be a minimum variance.

REVIEWING AGENCY COMMENTS

The following agencies have provided these comments:

Fire Department: Proposed signage would not inhibit emergency response.

PUBLIC COMMENT

No public comment has been received.

ACTION ALTERNATIVES AND STAFF RECOMMENDATION:

The Planning and Zoning Commission may approve, approve with conditions, or deny the variance. The Commission may also continue the hearing with a request for specific information necessary to determine compliance with the Municipal Code and city goals and policies.

Suggested Conditions for Approval

1. Applicant shall comply with all verbal representations made in the public hearing, as outlined in all application materials, and/or revised conditions herein and approved by the Community Development Director.
2. The Applicant shall comply with/address all City staff comments related to specific Code requirements prior to the approval of a sign permit.
3. Any future changes or improvements to signage are subject to review and approval of the Community Development Director for compliance with applicable requirements of the Glenwood Springs Municipal Code
4. Except where specific variances have been granted, the construction shall comply with Municipal Code requirements.
5. The owner shall submit a completed master sign permit application for the Community Development Department review and approval prior to installation.
6. The owner shall submit a completed sign permit application for the Community Development Department review and approval prior to installation.
7. The applicant shall remove the sign located in the outdoor dining lease area on the east side of the building or shall apply for a Right-of-Way Encroachment License.

Suggested Findings for Action Item 1 and 2

1. The subject property *does have* an exceptional shape, topography, building configuration, or other exceptional site condition that is not a general condition throughout the zone district.

2. The strict application of the Code standards for which a variance is sought **would not** produce undue hardship.
3. The applicant **has** had a part in the creation of the hardship by their own actions.
4. The variance requested **does not** harm the public and **does not** impair the intent or purposes of this Code, goals, and policies including the specific regulation for which the variance is sought.
5. The variance request **does not demonstrate** exceptional hardship not related to purposes or convenience or financial burden.
6. The variance request **will not** violate building or fire code requirements; and
7. The variance **is** the minimum variance that will afford relief of the subject standards of the Code.

ALTERNATIVE MOTION TO APPROVE

Action Items 1 and 2

Consideration of the variance application, I move to **APPROVE** finding that -

1. The subject property **does have** an exceptional shape, topography, building configuration, or other exceptional site condition that is not a general condition throughout the zone district.
2. The strict application of the Code standards for which a variance is sought **would** produce undue hardship.
3. The applicant **has had** a part in the creation of the hardship by their own actions.
4. The variance requested **does not** harm the public and **does not** impair the intent or purposes of this Code, goals, and policies including the specific regulation for which the variance is sought.
5. The variance request **does demonstrate** exceptional hardship not related to purposes or convenience or financial burden.
6. The variance request **will not** violate building or fire code requirements; and
7. The variance **is** the minimum variance that will afford relief of the subject standards of the Code.

To Whom It May Concern,

My name is Angie Stanford, and I became the owner of the restaurant located at 715 Grand Ave, Glenwood Springs, CO on September 30, 2024. After taking ownership, I rebranded the business under the new name Euro Italian Underground and requested to update the existing signage to reflect this change.

At that time, I was informed that I could only change the printing on the existing signs, but not the location, size, or structure of the signage itself. It's important to note that the current signs were originally installed by previous ownership back in 2013, and have been in place without a formal permit ever since. I was not involved in their installation, as I only recently acquired the business. My request is solely to update the existing signs with the new restaurant name—not to move them or alter their physical structure in any way.

I am seeking this variance to continue using the current signage, which has served the business for over a decade, while simply updating the visual branding to reflect the new identity of the restaurant. The sign's placement has been part of the streetscape for years, and continuing to use it will help with visibility and business recognition without creating any new impact on the surrounding area.

Thank you for your time and consideration.

Sincerely,
Angie Stanford
Owner, Euro Italian Underground







K STONE

EUROITALIAN
UNDERGROUND
RESTAURANT & BAR

SILVER

UNDERGROUND
RESTAURANT

EUROITALIAN
UNDERGROUND
RESTAURANT & BAR



EUROITALIAN UNDERGROUND
RESTAURANT & BAR

Coca-Cola

REVEREND
[Small photo]

OAMZ







Planning and Zoning Commission Report

Date: July 22, 2025
 To: Planning and Zoning Commission
 From: Watkins Fulk-Gray, AICP, Senior Planner
 Subject: Planning File SUP-000042-2025 – Special Use Permit for Parking as Principal Use at 138 W. 6th St. and 124 W. 6th St.

REQUEST	Consideration of a Special Use Permit to allow Tesla electric vehicle chargers as “parking as principal use”
APPLICANT	Lena Strauss, Dewberry, and Drew Sartell, Tesla Inc.
OWNER	Colorado Hospitality Services, Inc.
LOCATION	138 W. 6 th St. and 124 W. 6 th St. (PIN# 218509200043 and 218509137003)
ZONE	CO (Commercial)
EXISTING USE	Small structure housing fiber optic equipment
SURROUNDING LAND USES	North: Storage South: La Quinta Hotel East: Tequila’s Restaurant West: I-70
LOT SIZE	24,445 s.f. (138 W. 6 th St.) and 71,002 s.f. (124 W. 6 th St.)

ACTION ITEM

Per Section 070.060.050(e) of the *Glenwood Springs Municipal Code* (Code), the Planning and Zoning Commission (Commission) is the deciding body for Special Use Permits.

Action 1 – Special Use Permit– to consider a Special Use Permit to allow Tesla electric vehicle chargers that constitute parking as a primary use on the parcel.

Staff recommendation: *Staff recommends approval of the Special Use Permit with findings and conditions on page 4 and 5 of the staff report.*

LOCATION AND BACKGROUND

Project Summary

Tesla Inc. desires to develop an electric vehicle (EV) car charger station at 138 and 124 W. 6th St., principally on a vacant lot behind the La Quinta Inn. The types of chargers proposed are 12 Level-3 chargers, five Level-2 chargers, and three superchargers. This use in this context is considered “parking as a primary use,” which requires a Special Use Permit.

Location and Background

The principal location for the EV charging stations is 138 W. 6th St., which is the vacant lot to the northwest of La Quinta Inn. However, the access and some of the elements of the development, such as a crosswalk, curb, and striping, will be on the La Quinta parcel. Access will be from 6th St., in which there is an existing center turn lane. While there is an existing small telecommunications structure at 138 W. 6th, this building passively houses a fiberoptic line that runs from Denver to Salt Lake City and is not regularly used for human occupancy. Therefore, though this structure does exist on the property, Staff believes that this use should be still considered “parking as a primary use,” and require approval by the Planning & Zoning Commission.



Above: Two views of the area in which the EV chargers are proposed.

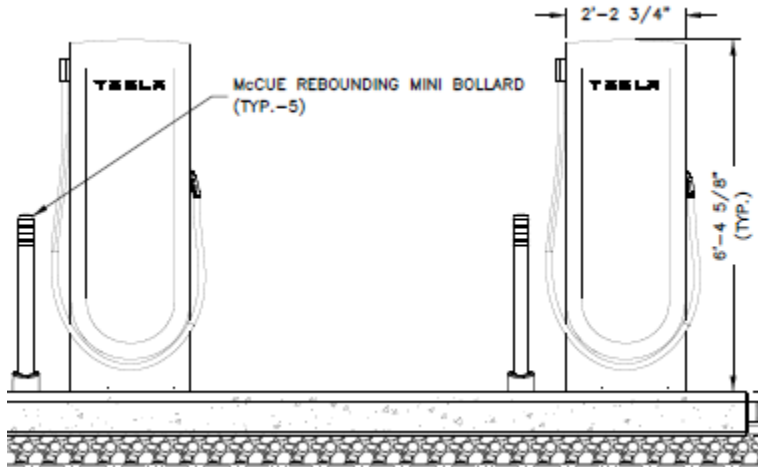


Above: Site location.

Special Use Permits

The Special Use Permit (SUP) procedure allows for City to review development and land uses with

unique or varying operating characteristics on a case-by-case basis. The procedure is intended to ensure compatibility with surrounding areas and mitigate potential impacts. SUPs are required depending on the zoning district and proposed use. There are six criteria of approval that must be met for SUPs to be approved, and they will be discussed in the next section.



Above: A view of the chargers.

PROJECT ANALYSIS AND CRITERIA

The Commission shall consider to what degree the application meets the following criteria. Staff analysis of criteria as follows:

SPECIAL USE PERMIT CRITERIA	Meets criterion?
The use will be compatible with the surrounding area	YES
The impacts of the use on surrounding area have been adequately minimized	YES
The use will be consistent with the general purpose and intent of this Code	YES
The use will be consistent with all applicable standards of this Code	YES
The use is in conformance with the Comprehensive Plan and other City plans and policies	YES
The use minimizes adverse impacts to the health, safety, and welfare of the inhabitants of the surrounding areas and the City	YES

1. **The use will be compatible with the surrounding area.**
The proposed parking use will continue and match the existing asphalt- and impervious surface-intensive pattern of land use in the surrounding area, while also introducing some new landscaping and shade.

2. **The impacts of the use on the surrounding area have been adequately minimized.**
No significant impacts except drainage are expected to the surrounding areas. Stormwater plans will be revised and re-reviewed at the time of building permit to

ensure no significant impacts on surrounding areas. The amount of traffic generated by the EV chargers is very likely less than the threshold for requiring a traffic study. Staff believes the access point on 6th St., which already has a left turn lane, will not require upgrading.

3. The use will be consistent with the general purpose and intent of this Code.

Staff believes there are no problems or inconsistencies with the intent of the Municipal Code that cannot be mitigated through conditions of approval.

4. The use will comply with all applicable standards of this Code.

There are two primary topics in which the Municipal Code relates to this project, which are parking area landscaping and lighting. The proposed landscaping plan mostly meets the Code requirements, but a condition of approval has been recommended that they change tree species to one with widely branching growth habit and that are drought resistant and native. A lighting plan has not yet been prepared by the applicant and will be required prior to issuance of building permit. The project meets setbacks because the charging infrastructure qualifies as “ground-mounted mechanical equipment,” which is allowed to be placed within two feet from the property line. The applicant has stated the nearest mechanical equipment will be 3.5 feet from the property line. Other issues such as stormwater management are handled by the Engineering Standards during building permit review.

CODE STANDARD		PROPOSED	STANDARD MET?
Parking Area Landscaping			
Surface Area Landscape	10% of total surface parking area (829 s.f. required)	1,068 sf	YES
Interior Landscape	10 s.f. per parking space (200 s.f. required)	1,068 sf	YES
Trees	1 required per 8 parking spaces (2 required)	3	YES
Setbacks			
Front	5' minimum, 60' maximum	60	YES
Rear	7.5'		YES
Side	5'		YES

5. The use is in conformance with the Comprehensive Plan and other City plans and policies.

The Comprehensive Plan’s Future Land Use Map categorizes this site as Mixed-Use, which allows a wide variety of uses. A policy from the Comprehensive Plan also supports this project:

- Plan and incentivize EV and e-bike growth and operations

Staff believes the project is in conformance with the Comprehensive Plan.

6. The use minimizes adverse impacts to the health, safety, and welfare of the inhabitants of the surrounding areas and the City.

The proposed use would not adversely impact the health, safety, and welfare of the inhabitants of the surrounding areas and the City. With the required parking lot landscaping, it the project may slightly reduce the urban heat effect of open, paved spaces.

REVIEWING AGENCY COMMENTS

The Engineering Department noted that the property will need to meet current stormwater standards. If work on the adjacent property (the hotel property) exceeds 200sf of disturbed area, that property will also need to be brought up to code.

The Public Works Department recommended the applicants put in place an access easement to the site, given that the property does not front a street, to prevent access complications in the future.

The Fire Department requested that buckets of used oil, adhesives, and other products sitting in the open lot be correctly disposed of. A condition of approval has been suggested requiring this.

PUBLIC COMMENT

No public comment has been received.

ACTION ALTERNATIVES AND STAFF RECOMMENDATION:

The Planning and Zoning Commission may approve, approve with conditions, or deny the Special Use Permit. The Commission may also continue the hearing with a request for specific information necessary to determine compliance with the Municipal Code and city goals and policies.

Action 1 – Special Use Permit– to consider a Special Use Permit to allow parking as a primary use at 124 and 138 W. 6th St.

Staff Recommendation/Suggested Motion

Staff recommends **approval** of the Special Use Permit with the following **findings and conditions**:

Suggested Findings:

1. The use will be compatible with the surrounding area.
2. The impacts of the use on surrounding areas have been adequately minimized with the

recommended conditions of approval.

3. The use will be consistent with the general purpose and intent of this Code.
4. This use will comply with the applicable standards of this Code.
5. The use is in conformance with the Comprehensive Plan.
6. The use minimizes adverse impacts to the health, safety, and welfare of the inhabitants of the surrounding areas and the City.

Suggested Conditions

1. The applicant/owner shall comply with all verbal representations made in the public hearings, as outlined in all application materials, and/or as revised per conditions herein and approved by the Community Development Director
2. Any future physical changes to or improvements to the property are subject to the review and approval of the Community Development Director for compliance with applicable requirements of the Glenwood Springs Municipal Code.
3. The Special Use Permit shall expire if the authorized use is not substantially underway within one year after that date of this approval.
4. An access easement through 124 W. 6th St. shall be granted to the site prior to commencement of the EV chargers becoming operational.
5. The following changes shall be made to the landscaping plan prior to approval of building permit:
 - a. Replace tree plantings with trees that meet the requirements of 070.040.060(h)(6)(c)(2).
6. Prior to approval of building permit a lighting plan shall be submitted that meets the requirements of the Municipal Code.
7. The buckets of adhesives and other products currently on the site shall be appropriately disposed of prior to commencement of construction.
8. The development shall utilize wildlife-resistant containers meeting the requirements of Title 100.010 of the Municipal Code wherever there are trash containers.

Alternative Motion

*** If the Planning and Zoning Commission finds this application does not meet criteria for a approval of a Special Use Permit, it may make a motion to recommend for denial. This motion must be supported with information supporting how the application does not meet criteria. An example motion shown below:

MOTION FOR DENIAL

Action 1 – Special Use Permit– to consider a Special Use Permit to allow parking as a primary use at 124 and 138 W. 6th St.

I move to **recommend denial** finding that:

1. The use will **not** be compatible with the surrounding area.
2. The impacts of the use on surrounding areas have **not** been adequately minimized.
3. The use will **not** be consistent with the general purpose and intent of this Code.
4. The use will **not** comply with all applicable standards of this Code.

5. The use is *not* in conformance with the Comprehensive Plan and other city plans and policies.
6. The use *does not* minimize adverse impacts to the health, safety, and welfare of the inhabitants of the surrounding areas and the City.

Special Use Permit Project Narrative

Tesla Electric Vehicle Charging Station

124 W. 6th Street, Glenwood Springs, CO 81601

Parcel # 218509200043

1. Project Description

Tesla Inc. has entered into an agreement with Colorado Hospitality Services, Inc. to install an Electric Vehicle Charging Station (EVCS) in the vacant lot denoted by Parcel #218509200043. The EVCS will include the following infrastructure: (1) utility transformer; (1) switchboard; (3) Tesla Pre-Assembled Supercharger Units (PSUs); (12) Tesla Level 3 Chargers; (5) Tesla Level 2 Chargers; (1) utility meter; (4) parking lot lights as depicted on the Site Plan. The existing vacant parcel currently contains a telecommunication building and associated improvements such as a chain link fence, perimeter pre-cast concrete fencing and lighting and gravel surfaced laydown yard. This gravel area will be developed into a new parking lot to serve the EVCS. The scope of work for development will include electrical trenching, conduit installation, overlot grading, new curb, asphalt paving, parking lot striping, drainage improvements, shallow concrete foundations, electrical equipment, and landscaping.



2. Project Compatibility

The parcel for this development is zoned CO Commercial and is fully surrounded by parcels currently zoned CO Commercial. As an accessory use to commercial businesses, the EVCS is compatible with this zoning district and will meet the criteria of the code. Because the charging station will be the primary use of this parcel, a special use permit is required by Code. The EVCS design will comply with all parking lot design standard per Code *Section 070.040.060 - Off-Street Parking and Loading* as well as comply with landscape design standards per Code *Section 070.040.060(h)(6)*. Refer to the Site Plan and Planting Plan for more details.

3. Project Impacts to Property and Adjacent Properties

The project will beautify a currently vacant and disheveled commercial parcel in the back of the hotel property. Aside from the telecommunications building/operation on site on this parcel, the current property is being used as a storage and laydown yard for the hotel operations and telecommunication operations. The site will be accessed from W. 6th Street through the existing parking lot of La Quinta Inn (Parcel #218509137003). The lane configuration on W. 6th Street supports a shared left turn lane for access into the existing parking lot. Tesla has confirmed with the property owner a plan to create a shared access easement across the La Quinta parcel #218509137003 to ensure long term access is secured for our charging station. Tesla is committed to working with City staff and the owner to get this agreement in place. Lastly, in terms of traffic impacts, in evaluating the existing usage of the operational Tesla EVCS in Glenwood Springs, Tesla expects the generation of approximately 100 trips, equating to 100 total daily charge sessions. Note, it is challenging to differentiate between charge sessions initiated by hotel customers who will dwell for a longer period on site during their stay versus those initiated by customers who will seek to charge their vehicles while either passing through Glenwood Springs or who live in the City or surrounding area.

4. Project Conformance and Justification

Tesla understands the growing need for DC fast charging in Garfield County for personal and rideshare EV customers and drivers. Currently, this section along the I-70 corridor is underserved by DC fast charging sites, including Tesla's existing operational 6-stall site in Glenwood Springs that experiences times of congestion. With the EV market continuing to grow, Tesla estimates that additional relief is needed to keep EV driver DC charging congestion to a minimum in this part of the state. With the installation of this new charging station, the goal is to minimize and eliminate electric vehicle charging congestion, to accelerate the adoption of electric vehicles across the state of Colorado, including Garfield County, and to create a sustainable future for the region through reduction of fossil fuels and carbon offset. Additionally, Tesla is providing benefits to the local businesses as EV owners will be seeking relief, food, and beverages as they wait for their vehicles to charge. For these reasons, Tesla considers the proposed EVCS project within the area justifiable and beneficial. Additionally, this project is supported by funding from the State of Colorado National Electric Vehicle Infrastructure (NEVI) Program who also sees a vested interest in EV charging infrastructure in this part of Colorado and along this critical section of the I-70 corridor. The project is in conformance with the City's Green Transportation initiative as well as its Comprehensive Code, which was previously confirmed by the Planning Department during the pre-application meeting with Staff.

5. Project Feasibility

Tesla is coordinating new electrical service for this project with the City of Glenwood Springs Utilities. The City utility department has confirmed electrical capacity for the new charging station and has provided a utility design, contract and designated a transformer for the project.



GLENWOOD SPRINGS, CO

SPECIAL USE PERMIT SITE PLAN

SITE ADDRESS:
124 W 6TH STREET
GLENWOOD SPRINGS, CO 81601
TRT ID: 403252
JB-816494-00



3500 DEER CREEK ROAD
 PALO ALTO, CA 94304
 (650) 681-5000



Dewberry Engineers Inc.
 990 S. BROADWAY
 SUITE 400
 DENVER, CO 80209
 PHONE: 303.825.1802



SITE INFORMATION

PROPOSED TESLA EV SITE ADDRESS:
 124 W 6TH STREET
 GLENWOOD SPRINGS, CO 81601

PROPERTY OWNER:
 GLENWOOD SPRINGS LODGING, LLC
 10 E 120TH AVENUE
 NORTHGLENN, CO 80233

PARCEL ID:
 APN: 218509200043 & 218509137003

POWER COMPANY:
 CITY OF GLENWOOD SPRINGS UTILITIES
 CONTACT: DOUG HAZZARD
 PHONE: (970) 384-6353
 EMAIL: doug.hazzard@cogs.com
 WORK ORDER #: TBD

COUNTY:
 GARFIELD COUNTY

LATITUDE*:
 39° 33' 4.03" N
 *BASED ON GOOGLE EARTH

LONGITUDE*:
 107° 19' 45.90" W
 *BASED ON GOOGLE EARTH

CONTACT PROJECT MANAGER:
 BRIAN GUTHRIDGE
 DEWBERRY ENGINEERS INC.
 (973) 434-1355
 bguthridge@dewberry.com

APPLICABLE CODES

ALL WORK SHALL COMPLY WITH THE FOLLOWING APPLICABLE CODES:

CITY OF GLENWOOD SPRINGS UNIFORM BUILDING & ENERGY CODES, CONSISTENT WITH THE FOLLOWING CODES:

2021 INTERNATIONAL BUILDING CODE (IBC)
 2021 INTERNATIONAL ENERGY CONSERVATION CODE (IECC)
 2020 NATIONAL ELECTRICAL CODE (NEC)

IN THE EVENT OF CONFLICT, THE MOST RESTRICTIVE CODE SHALL PREVAIL.

PROJECT DESCRIPTION

- INSTALL (1) PAD MOUNTED UTILITY TRANSFORMER
- INSTALL (1) 1600A MCB SWITCHBOARD W/ LEVEL 2 MODULE
- INSTALL (3) TESLA PRE-ASSEMBLED SUPERCHARGER UNITS, EACH WITH (1) SUPERCHARGER CABINET, AND (1) JUNCTION BOX & (4) CHARGE POSTS
- INSTALL (5) TESLA LEVEL 2 CHARGE PEDESTALS
- INSTALL (6) WASTE MANAGEMENT BINS

ZONING INFORMATION

AHJ: CITY OF GLENWOOD SPRINGS
 APN: 218509200043 & 218509137003

DRAWING INDEX

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DRAWN BY:	TK
CHECKED BY:	BG
APPROVED BY:	HWJ
PROJECT #:	50123704
JOB #:	50186887

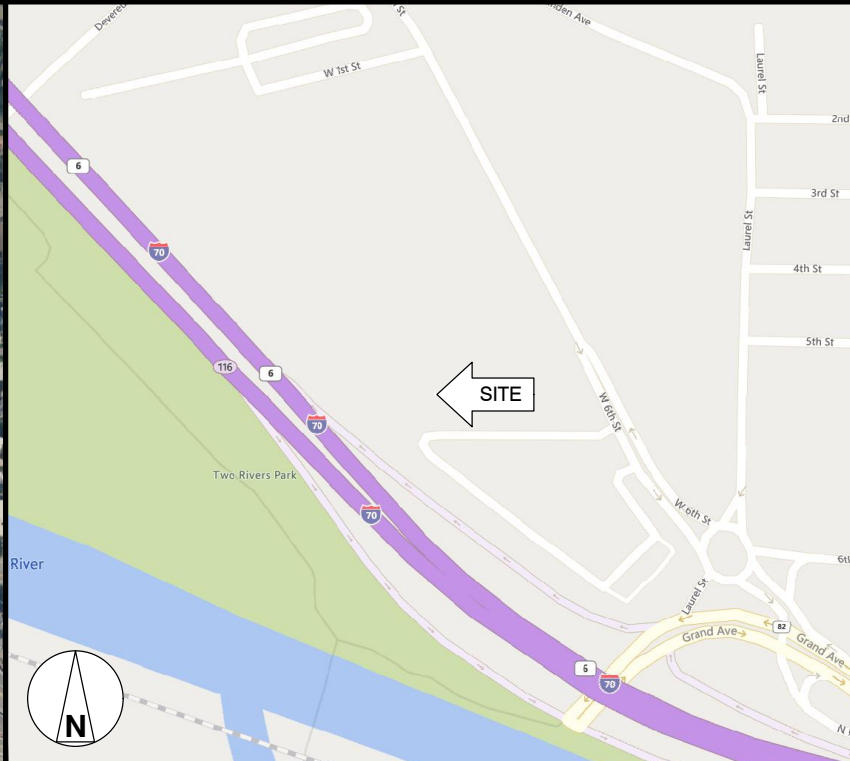
CONTRACTOR NOTE

CONTRACTOR SHALL COMPLETE INSTALL PER THE SIGNED AND SEALED SET OF DRAWINGS. ANY NECESSARY DEVIATIONS FROM THE DRAWINGS MUST BE SUBMITTED THROUGH AN RFI REQUEST PROCESS WITH ENGINEERING FOR AN APPROVAL PRIOR TO CONTRACTOR PROCEEDING WITH A DEVIATION OF THE SIGNED AND SEALED SET OF DRAWINGS.

AERIAL MAP



LOCATION MAP



SUBMITTALS

REV.	DATE	DESCRIPTION
1	05/27/25	SPECIAL USE PERMIT
0	04/02/25	ISSUED FOR PERMITS
A	03/21/25	ISSUED FOR 90% REVIEW

SITE NAME:
 GLENWOOD SPRINGS, CO
 TRT ID: 403252
 JOB ID: JB-816494-00

SITE ADDRESS:
 124 W 6TH STREET
 GLENWOOD SPRINGS, CO 81601

BEFORE SCALING

CONTRACTOR SHALL VERIFY ALL PLANS AND EXISTING DIMENSIONS AND CONDITIONS ON THE JOB SITE AND SHALL IMMEDIATELY NOTIFY THE TESLA REPRESENTATIVE IN WRITING OF DISCREPANCIES BEFORE PROCEEDING WITH THE WORK OR BE RESPONSIBLE FOR SAME.

CALL BEFORE YOU DIG

COLORADO ONE CALL
 811 OR 1-800-922-1987

SHEET TITLE

TITLE SHEET

SHEET NUMBER

T-1

GENERAL NOTES:

- FOR THE PURPOSE OF CONSTRUCTION DRAWING, THE FOLLOWING DEFINITIONS SHALL APPLY:
GENERAL CONTRACTOR(S) OR SUB-CONTRACTOR(S) – CIVIL CONTRACTOR AND/OR ELECTRICIAN CONTRACTOR
PROJECT OWNER/CONSTRUCTION MANAGER – TESLA
PROJECT HOST – LEGAL PROPERTY OWNER
ENGINEER – DEWBERRY ENGINEERS INC.
- PRIOR TO THE SUBMISSION OF BIDS, THE BIDDING THE GENERAL CONTRACTOR SHALL VISIT THE SITE TO FAMILIARIZE WITH THE EXISTING CONDITIONS AND TO CONFIRM THAT THE WORK CAN BE ACCOMPLISHED AS SHOWN ON THE CONSTRUCTION DRAWINGS. ANY DISCREPANCY FOUND SHALL BE BROUGHT TO THE ATTENTION OF PROJECT OWNER PRIOR TO THE COMMENCEMENT OF WORK.
- ALL MATERIALS FURNISHED AND INSTALLED SHALL BE IN STRICT ACCORDANCE WITH ALL APPLICABLE CODES, REGULATIONS, AND ORDINANCES. THE GENERAL CONTRACTOR SHALL ISSUE ALL APPROPRIATE NOTICES AND COMPLY WITH ALL LAWS, ORDINANCES, RULES, REGULATIONS, AND LAWFUL ORDERS OF ANY PUBLIC AUTHORITY REGARDING THE PERFORMANCE OF THE WORK.
- ALL WORK CARRIED OUT SHALL COMPLY WITH ALL APPLICABLE MUNICIPAL AND UTILITY COMPANY SPECIFICATIONS AND LOCAL JURISDICTIONAL CODES, ORDINANCES AND APPLICABLE REGULATIONS.
- UNLESS NOTED OTHERWISE, THE WORK SHALL INCLUDE FURNISHING MATERIALS, EQUIPMENT, APPURTENANCES, AND LABOR NECESSARY TO COMPLETE THE INSTALLATION AS INDICATED ON THE DRAWINGS FOR A FULLY FUNCTIONAL CHARGING STATION AND COMPLETE PROJECT.
- THE SUB-CONTRACTOR SHALL INSTALL ALL EQUIPMENT AND MATERIALS IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS UNLESS SPECIFICALLY STATED OTHERWISE.
- IF THE SPECIFIED EQUIPMENT CANNOT BE INSTALLED AS SHOWN ON DRAWINGS, THE GENERAL CONTRACTOR SHALL PROPOSE AN ALTERNATIVE INSTALLATION SPACE FOR APPROVAL BY THE PROJECT ENGINEER. ONLY WRITTEN APPROVALS SHALL BE DEEMED TO CONFIRM ANY SUCH CHANGES AS BEING APPROVED.
- PLANS ARE NOT TO BE SCALED. THESE PLANS ARE INTENDED TO BE A DIAGRAMMATIC OUTLINE ONLY UNLESS OTHERWISE NOTED. DIMENSIONS SHOWN ARE TO FINISH SURFACES UNLESS OTHERWISE NOTED. SPACING BETWEEN EQUIPMENT IS THE MINIMUM REQUIRED CLEARANCE. THEREFORE, IT IS CRITICAL TO FIELD VERIFY DIMENSIONS, SHOULD THERE BE ANY QUESTIONS REGARDING THE CONTRACT DOCUMENTS, THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING A CLARIFICATION FROM THE ENGINEER PRIOR TO PROCEEDING WITH THE WORK. DETAILS ARE INTENDED TO SHOW DESIGN INTENT. MODIFICATIONS MAY BE REQUIRED TO SUIT UNIQUE JOB DIMENSIONS OR CONDITIONS AND SUCH MODIFICATIONS SHALL BE INCLUDED AS PART OF WORK.
- THE GENERAL CONTRACTOR SHALL REVIEW ROUTING OF CONDUIT, POWER AND GROUNDING CABLES AS SHOWN ON THE POWER, GROUNDING PLAN DRAWING. THE GENERAL CONTRACTOR SHALL CONFIRM THE ACTUAL ROUTING WITH THE CONSTRUCTION MANAGER AND PROJECT HOST.
- INFORMATION SHOWN ON THESE DRAWINGS WAS OBTAINED FROM SITE VISITS AND/OR DRAWINGS PROVIDED BY THE PROJECT HOST. THE GENERAL CONTRACTOR SHALL VERIFY ALL EXISTING DIMENSIONS AND CONDITIONS AND SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES PRIOR TO ORDERING MATERIAL OR PROCEEDING WITH CONSTRUCTION.
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS AND INSPECTIONS REQUIRED FOR CONSTRUCTION. IF GENERAL CONTRACTOR CANNOT OBTAIN A PERMIT, THEY MUST NOTIFY THE CONSTRUCTION MANAGER IMMEDIATELY.
- APPLICABLE BUILDING CODES:
THE GENERAL CONTRACTORS WORK SHALL COMPLY WITH ALL APPLICABLE NATIONAL, STATE, AND LOCAL CODES AS ADOPTED BY THE LOCAL AUTHORITY HAVING JURISDICTION (AHJ) FOR THE LOCATION. THE EDITION OF THE AHJ ADOPTED CODES AND STANDARDS IN EFFECT ON THE DATE OF CONTRACT AWARD SHALL GOVERN THE DESIGN.
THE GENERAL CONTRACTOR WORK SHALL COMPLY WITH THE LATEST EDITION OF THE FOLLOWING STANDARDS:
AMERICAN CONCRETE INSTITUTE (ACI) 318; BUILDING CODE REQUIREMENTS FOR STRUCTURAL CONCRETE
AMERICAN INSTITUTE OF STEEL CONSTRUCTION (AISC) MANUAL OF STEEL CONSTRUCTION, ASD, FOURTEENTH EDITION
- FOR ANY CONFLICTS BETWEEN SECTIONS OF LISTED CODES AND STANDARDS REGARDING MATERIAL, METHODS OF CONSTRUCTION, OR OTHER REQUIREMENTS, THE MOST RESTRICTIVE REQUIREMENT SHALL GOVERN. WHERE THERE IS CONFLICT BETWEEN A GENERAL REQUIREMENT AND A SPECIFIC REQUIREMENT, THE SPECIFIC REQUIREMENT SHALL GOVERN.
- THE GENERAL CONTRACTOR SHALL MAINTAIN IN GOOD CONDITION ONE COMPLETE SET OF PLANS WITH ALL REVISIONS, ADDENDA, AND CHANGE ORDERS ON THE PREMISES AT ALL TIMES.
- THE GENERAL CONTRACTOR SHALL COORDINATE WORK AND SCHEDULE WORK ACTIVITIES WITH OTHER GENERAL CONTRACTOR(S) AND/OR SUB-CONTRACTOR(S).
- CONSTRUCTION SHALL BE DONE IN A WORKMANLIKE MANNER BY COMPETENT EXPERIENCED WORKMEN IN ACCORDANCE WITH APPLICABLE CODES AND THE BEST ACCEPTED PRACTICE.
- THE GENERAL CONTRACTOR SHALL COORDINATE AND MAINTAIN ACCESS FOR ALL TRADES AND GENERAL CONTRACTOR(S) AND/OR SUB-CONTRACTOR(S) TO THE SITE AND/OR BUILDING.
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR SECURITY OF THE SITE FOR THE DURATION OF CONSTRUCTION UNTIL JOB COMPLETION.
- THE GENERAL CONTRACTOR SHALL CONTACT UTILITY LOCATING SERVICES PRIOR TO THE START OF CONSTRUCTION.
- THE GENERAL CONTRACTOR SHALL PROVIDE WRITTEN NOTICE TO THE PROJECT HOST 48 HOURS PRIOR TO COMMENCEMENT OF WORK.
- THE GENERAL CONTRACTOR AND SUB-CONTRACTORS SHALL BE RESPONSIBLE FOR THE SAFETY OF WORK AREA, ADJACENT AREAS AND BUILDING OCCUPANTS THAT ARE LIKELY TO BE AFFECTED BY THE WORK UNDER THIS CONTRACT. WORK SHALL CONFORM TO ALL OSHA REQUIREMENTS AND THE LOCAL JURISDICTION.
- THE GENERAL CONTRACTOR SHALL PROVIDE PORTABLE FIRE EXTINGUISHERS WITH A RATING OF NOT LESS THAN 2-A OR 2-A:10-B:C AND SHALL BE WITHIN 25 FEET OF TRAVEL DISTANCE TO ALL PORTIONS OF WHERE THE WORK IS BEING COMPLETED DURING CONSTRUCTION.
- ALL BROCHURES, OPERATING AND MAINTENANCE MANUALS, CATALOGS, SHOP DRAWINGS, AND OTHER DOCUMENTS SHALL BE TURNED OVER TO THE PROJECT OWNER AT COMPLETION OF CONSTRUCTION AND PRIOR TO PAYMENT.
- GENERAL CONTRACTOR SHALL SUBMIT A COMPLETE SET OF AS-BUILT REDLINES AND ALL SPECIFIED CLOSE-OUT DOCUMENTATION TO THE PROJECT OWNER UPON COMPLETION OF PROJECT AND PRIOR TO FINAL PAYMENT.
- THE GENERAL CONTRACTOR SHALL LEAVE THE WORK AREA AND SURROUNDING PREMISES IN A CLEAN CONDITION.
- THE PROPOSED FACILITY WILL BE UNMANNED AND DOES NOT REQUIRE POTABLE WATER OR SEWER SERVICE, AND IS NOT FOR HUMAN HABITATION (NO HANDICAP ACCESS REQUIRED).
- NO OUTDOOR STORAGE OR SOLID WASTE CONTAINERS ARE PROPOSED.

SITE WORK NOTES:

PART 1 – GENERAL

- REFERENCES:
A. DOT (STATE DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR HIGHWAY CONSTRUCTION-CURRENT EDITION).
B. AASHTO (AMERICAN ASSOCIATION OF STATE HIGHWAY AND TRANSPORTATION OFFICIALS)
C. ASTM (AMERICAN SOCIETY FOR TESTING AND MATERIALS).
D. OSHA (OCCUPATION SAFETY AND HEALTH ADMINISTRATION).
- INSPECTION AND TESTING:
A. FIELD TESTING OF EARTHWORK COMPACTION AND CONCRETE CYLINDERS SHALL BE PERFORMED BY AN INDEPENDENT TESTING LAB. THIS WORK IS TO BE COORDINATED BY THE GENERAL CONTRACTOR.
B. ALL WORK SHALL BE INSPECTED AND VERIFIED FOR CONFORMANCE AND RELEASED BY THE ENGINEER WHO SHALL CARRY OUT THE GENERAL INSPECTION OF THE WORK WITH SPECIFIC CONCERN TO PROPER PERFORMANCE OF THE WORK AS SPECIFIED AND/OR CALLED FOR ON THE DRAWINGS. IT IS THE GENERAL CONTRACTOR(S) RESPONSIBILITY TO REQUEST TIMELY INSPECTIONS PRIOR TO PROCEEDING WITH FURTHER WORK THAT WOULD MAKE PARTS OF WORK INACCESSIBLE OR DIFFICULT TO INSPECT.
- SITE MAINTENANCE AND PROTECTION:
A. PROVIDE ALL NECESSARY JOB SITE MAINTENANCE FROM COMMENCEMENT OF WORK UNTIL COMPLETION OF THE CONTRACT.
B. AVOID DAMAGE AND TAKE PROTECTIVE MEASURES TO THE SITE AND TO EXISTING FACILITIES, IMPROVEMENTS, STRUCTURES, PAVEMENTS, CURBS, AND LANDSCAPING DESIGNATED TO REMAIN. ANY DAMAGED PART SHALL BE REPAIRED AT SUB-CONTRACTOR(S) EXPENSE TO THE SATISFACTION OF THE PROJECT HOST.
C. KEEP SITE FREE OF ALL PONDING OR STANDING WATER.
D. PROVIDE EROSION CONTROL MEASURES, IF REQUIRED, SHALL BE IN ACCORDANCE WITH STATE DOT, LOCAL PERMITTING AGENCY AND EPA REQUIREMENTS.
E. PROVIDE AND MAINTAIN ALL TEMPORARY FENCING, BARRICADES, WARNING SIGNALS AND SIMILAR DEVICES NECESSARY TO PROTECT AGAINST THEFT FROM PROPERTY DURING THE ENTIRE PERIOD OF CONSTRUCTION. REMOVE ALL SUCH DEVICES UPON COMPLETION OF THE WORK.
F. ALL EXISTING ACTIVE SEWER, WATER, GAS, ELECTRIC, AND OTHER UTILITIES SHALL BE PROTECTED AT ALL TIMES, AND WHERE REQUIRED FOR THE PROPER EXECUTION OF THE WORK, SHALL BE RELOCATED AS DIRECTED BY THE ENGINEER. EXTREME CAUTION SHOULD BE USED BY THE SUB-CONTRACTOR WHEN EXCAVATING OR DRILLING PIERS AROUND OR NEAR UTILITIES. THE GENERAL CONTRACTOR SHALL PROVIDE SAFETY TRAINING FOR THE WORKING CREW. THIS SHALL INCLUDE BUT NOT BE LIMITED TO A) FALL PROTECTION, B) CONFINED SPACE, C) ELECTRICAL SAFETY, AND D) TRENCHING & EXCAVATION.
G. ALL EXISTING INACTIVE SEWER, WATER, GAS, ELECTRIC, AND OTHER UTILITIES, WHICH INTERFERE WITH THE EXECUTION OF THE WORK, SHALL BE REMOVED, CAPPED, PLUGGED OR OTHERWISE DISCONNECTED AT POINTS WHICH WILL NOT INTERFERE WITH THE EXECUTION OF THE WORK, AS DIRECTED BY THE ENGINEER, AND SUBJECT TO THE APPROVAL OF THE PROJECT OWNER AND/OR LOCAL UTILITIES.
H. EXISTING UTILITIES: DO NOT INTERRUPT EXISTING UTILITIES SERVING FACILITIES OCCUPIED BY THE PROJECT HOST OR OTHERS, EXCEPT WHEN PERMITTED IN WRITING BY THE PROJECT HOST AND THEN ONLY AFTER ACCEPTABLE TEMPORARY UTILITY SERVICES HAVE BEEN PROVIDED.
I. PROVIDE A MINIMUM 48-HOUR NOTICE TO THE PROJECT HOST AND RECEIVE WRITTEN NOTICE TO PROCEED BEFORE INTERRUPTING ANY UTILITY SERVICE.
J. SOD PLANTED IN THE FALL MUST ESTABLISH ITS ROOTS BEFORE THE FIRST WINTER FROST. DETERMINE WHEN THE FIRST FROST USUALLY OCCURS, AND PLANT THE SOD NO LATER THAN ONE MONTH BEFORE THE FIRST FROST. IF THE CONSTRUCTION IS FINISHED LATER THAN ONE MONTH BEFORE THE FIRST FROST, USE STRAW UNTIL SOD CAN BE INSTALLED.
K. THE GENERAL CONTRACTOR SHALL LEGALLY AND PROPERLY DISPOSE OF ALL SCRAP MATERIALS, RUBBISH, DEBRIS, STUMPS, STICKS, AND STONES.
L. THE GENERAL CONTRACTOR SHALL REMOVE ALL TRASH DEBRIS FROM THE SITE ON A DAILY BASIS.
M. CONTRACTOR TO TAKE NECESSARY PRECAUTIONS TO PROTECT TREES, VEGETATION, AND ROOT SYSTEMS DURING CONSTRUCTION.
N. CONTRACTOR TO COORDINATE POST CONSTRUCTION LANDSCAPING FINISHES WITH OWNER AND TESLA.

PART 2 – PRODUCTS

2.1 GRANULAR BACKFILL: SHALL MEET THE FOLLOWING GRADATION:

SIEVE SIZE	TOTAL PERCENT PASSING
1-1/2 INCH	100
1 INCH	75 TO 100
3/4 INCH	80 TO 100
3/8 INCH	35 TO 75
NO. 4	30 TO 60
NO. 30	7 TO 30
NO. 200	3 TO 15

2.2 GRANULAR BEDDING AND TRENCH BACKFILL: WELL-GRADED SAND MEETING THE GRADATION REQUIREMENTS OF ASTM D2487 (SE OR SW-SM).

2.3 ALL STRUCTURAL BACKFILL AND SUBBASE UNDER SLABS SHALL BE SELECT STRUCTURAL FILL MEETING THE GRADATION AND SOUNDNESS REQUIREMENTS IN ACCORDANCE WITH THE FOLLOWING:

SIEVE SIZE	TOTAL PERCENT PASSING
4 INCH	100
NO. 40	0 TO 70
NO. 200	0 TO 40

2.4 MATERIALS SHALL BE SUBSTANTIALLY FREE OF SHALE OR OTHER SOFT, POOR DURABILITY PARTICLES. IF TESTING IS ELECTED BY PROJECT OWNER, MATERIAL WITH A MAGNESIUM SULFATE SOUNDNESS LOSS EXCEEDING 30% WILL BE REJECTED.

2.5 COARSE AGGREGATE FOR SUBBASE COURSE SHALL CONFORM TO ASTM D2940.

2.6 UNSUITABLE MATERIAL: HIGH AND MODERATELY PLASTIC SILTS AND CLAYS (LL>45). MATERIAL CONTAINING REFUSE, FROZEN LUMPS, DEMOLISHED BITUMINOUS MATERIAL, VEGETATIVE MATTER, WOOD, STONES IN EXCESS OF 3 INCHES IN ANY DIMENSION, AND DEBRIS AS DETERMINED BY THE ENGINEER. TYPICALLY THESE WILL BE SOILS CLASSIFIED BY ASTM AS PT, MH, CH, OH, ML, AND OL.

PART 3 – EXECUTION

- GENERAL:
A. BEFORE STARTING GENERAL SITE PREPARATION ACTIVITIES, INSTALL EROSION AND SEDIMENT CONTROL MEASURES. THE WORK AREA SHALL BE CONSTRUCTED AND MAINTAINED IN SUCH CONDITION THAT IN THE EVENT OF A RAIN EVENT, NO SEDIMENT WILL LEAVE THE WORK SITE.
B. BEFORE ALL SURVEY, LAYOUT, STAKING, AND MARKING, ESTABLISH AND MAINTAIN ALL LINES, GRADES, ELEVATIONS AND BENCHMARKS NEEDED FOR EXECUTION OF THE WORK.
C. CLEAR AND GRUB THE AREA WITHIN THE LIMITS OF THE SITE. REMOVE TREES, BRUSH, STUMPS, RUBBISH AND OTHER DEBRIS AND VEGETATION RESTING ON OR PROTRUDING THROUGH THE SURFACE OF THE SITE AREA TO BE CLEARED.
D. REMOVE THE FOLLOWING MATERIALS TO A DEPTH OF NO LESS THAN 12 INCHES BELOW THE ORIGINAL GROUND SURFACE: ROOTS, STUMPS, AND OTHER DEBRIS, BRUSH, AND REFUSE EMBEDDED IN OR PROTRUDING THROUGH THE GROUND SURFACE, RAKE, DISK OR PLOW THE AREA TO A DEPTH OF NO LESS THAN 6 INCHES, AND REMOVE TO A DEPTH OF 12 INCHES ALL ROOTS AND OTHER DEBRIS THEREBY EXPOSED.
E. REMOVE TOPSOIL MATERIAL COMPLETELY FROM THE SURFACE UNTIL THE SOIL NO LONGER MEETS THE DEFINITION OF TOPSOIL. AVOID MIXING TOPSOIL WITH SUBSOIL OR UNDESIRABLE MATERIALS.

F. EXCEPT WHERE EXCAVATION TO GREATER DEPTH IS INDICATED, FILL DEPRESSIONS RESULTING FROM CLEARING, GRUBBING AND DEMOLITION WORK COMPLETELY WITH GRANULAR FILL.

G. REMOVE FROM THE SITE AND DISPOSE IN AN AUTHORIZED LANDFILL ALL DEBRIS RESULTING FROM CLEARING AND GRUBBING OPERATIONS. BURNING WILL NOT BE PERMITTED.

H. PRIOR TO EXCAVATING, THOROUGHLY EXAMINE THE AREA TO BE EXCAVATED AND/OR TRENCHED TO VERIFY THE LOCATIONS OF FEATURES INDICATED ON THE DRAWINGS AND TO ASCERTAIN THE EXISTENCE AND LOCATION OF ANY STRUCTURE, UNDERGROUND STRUCTURE, OR OTHER ITEM NOT SHOWN THAT MIGHT INTERFERE WITH THE PROPOSED CONSTRUCTION. NOTIFY THE ENGINEER OF ANY OBSTRUCTIONS THAT WILL PREVENT ACCOMPLISHMENT OF THE WORK AS INDICATED ON THE DRAWINGS.

I. SEPARATE AND STOCK PILE ALL EXCAVATED MATERIALS SUITABLE FOR BACKFILL. ALL EXCESS EXCAVATED AND UNSUITABLE MATERIALS SHALL BE DISPOSED OF OFF-SITE IN A LEGAL MANNER.

J. DURING EXCAVATION, THE SUB-CONTRACTOR SHALL PROVIDE SHORING, SHEETING, AND BRACING AS REQUIRED TO PREVENT CAVING OR SLOUGHING OF EXCAVATION.

K. WHEN DIRECTIONAL BORING IS REQUIRED, SUB-CONTRACTOR SHALL INSTALL A LOOSE TONING WIRE WITHIN INSTALLED CONDUIT TO ALLOW FOR IDENTIFICATION OF UNDERGROUND CONDUITS.

3.2 BACKFILL:

A. AS SOON AS PRACTICAL, AFTER COMPLETING CONSTRUCTION OF THE RELATED STRUCTURE, INCLUDING EXPIRATION OF THE SPECIFIED MINIMUM CURING PERIOD FOR CAST-IN-PLACE CONCRETE, BACKFILL THE EXCAVATION WITH SPECIFIED MATERIAL TO RESTORE THE REQUIRED FINISHED GRADE.

B. PRIOR TO PLACING BACKFILL AROUND STRUCTURES, ALL FORMS SHALL BE REMOVED AND THE EXCAVATION CLEANED OF ALL TRASH, DEBRIS, AND UNSUITABLE MATERIALS.

C. NO FILL OR EMBANKMENT MATERIAL SHALL BE PLACED ON FROZEN GROUND. FROZEN MATERIALS, SNOW, OR ICE SHALL NOT BE PLACED IN ANY FILL OR EMBANKMENT.

D. BACKFILL BY PLACING AND COMPACTING SUITABLE BACKFILL MATERIAL OR SELECT GRANULAR BACKFILL MATERIAL WHEN REQUIRED IN UNIFORM HORIZONTAL LAYERS OF NO GREATER THAN 12-INCHES LOOSE THICKNESS AND COMPACTED. WHERE HAND OPERATED COMPACTORS ARE USED, FILL MATERIAL SHALL BE PLACED IN LIFTS NOT TO EXCEED 12-INCHES IN LOOSE DEPTH AND COMPACTED.

E. THOROUGHLY COMPACT EACH LAYER OF BACKFILL TO A MINIMUM OF 95 PERCENT OF THE MAXIMUM DRY DENSITY AS ESTABLISHED BY THE STANDARD PROCTOR TEST, ASTM D 698.

F. WHENEVER THE DENSITY TESTING INDICATES THAT THE SUB-CONTRACTOR(S) HAS NOT OBTAINED THE SPECIFIED DENSITY, THE SUCCEEDING LAYER SHALL NOT BE PLACED UNTIL THE SPECIFICATION REQUIREMENTS ARE MET UNLESS OTHERWISE AUTHORIZED BY THE CONSTRUCTION MANAGER. THE SUB-CONTRACTOR SHALL TAKE WHATEVER APPROPRIATE ACTION IS NECESSARY, SUCH AS DISKING AND DRYING, ADDING WATER, OR INCREASING THE COMPACTIVE EFFORT TO MEET THE MINIMUM COMPACTION REQUIREMENTS.

G. THE SUB-CONTRACTOR SHALL OBTAIN GRAB SAMPLES OF SUFFICIENT QUANTITY TO PROVIDE TO LAB FOR PURPOSE OF DETERMINING MAX DRY DENSITY. ALL LOOSE AND/OR ORGANIC MATERIAL SHALL BE REMOVED PRIOR TO PREPARATION OF THE AREA FOR PLACEMENT OF STRUCTURAL BACKFILL. OVERALL PLAN AREA OF WORK SHALL EXTEND 3'-0" MINIMUM BEYOND THE FINAL DIMENSIONS.

H. SCARIFY THE EXISTING SOILS TO A DEPTH OF 6" AND RE-COMPACT USING A VIBRATING PLATE OR TAMPER, ANY SOFT AREAS SHALL BE OVEREXCAVATED 12" AND BACKFILLED WITH MATERIALS AND COMPACTION REQUIREMENTS SHOWN ON THE DRAWINGS.

I. PLACEMENT AND COMPACTION OF STRUCTURAL BACKFILL AND SUBBASE SHALL BE IN 12" LIFTS. EXCAVATE FOR THE FOOTING EDGE AS SHOWN ON THE DRAWINGS.

3.3 TRENCHING EXCAVATION:

J. UTILITY TRENCHES SHALL BE EXCAVATED TO THE LINES AND GRADES SHOWN ON THE DRAWINGS OR AS DIRECTED BY THE GENERAL CONTRACTOR. PROVIDE SHORING, SHEETING AND BRACING AS REQUIRED TO PREVENT CAVING OR SLOUGHING OF THE TRENCH WALLS.

K. EXTEND THE TRENCH WIDTH A MINIMUM OF 6 INCHES BEYOND THE OUTSIDE EDGE OF THE OUTERMOST CONDUIT.

L. WHEN SOFT YIELDING, OR OTHERWISE UNSTABLE SOIL CONDITIONS ARE ENCOUNTERED, EXCAVATE THE REQUIRED TRENCH TO A DEPTH OF NO LESS THAN 12 INCHES BELOW THE REQUIRED ELEVATION, THEN BACKFILL WITH 12" OF GRANULAR MATERIAL.

3.4 TRENCHING BACKFILL:

A. PROVIDE GRANULAR BEDDING MATERIAL IN ACCORDANCE WITH THE DRAWINGS AND THE UTILITY REQUIREMENTS.

B. NOTIFY THE ENGINEER 24 HOURS IN ADVANCE OF BACKFILLING.

C. CONDUCT UTILITY CHECK TESTS BEFORE BACKFILLING. BACKFILL AND COMPACT TRENCH BEFORE ACCEPTANCE TESTING.

D. PLACE GRANULAR BACKFILL UNIFORMLY ON BOTH SIDES OF THE CONDUITS IN 6-INCH UNCOMPACTED LIFTS UNTIL 12 INCHES OVER THE CONDUITS. SOLIDLY RAM AND TAMP BACKFILL INTO SPACE AROUND CONDUITS AND HAUNCHES.

E. PROTECT CONDUIT FROM LATERAL MOVEMENT, IMPACT DAMAGE, OR UNBALANCED LOADING.

F. ABOVE THE CONDUIT EMBEDMENT ZONE, PLACE AND COMPACT SATISFACTORY BACKFILL MATERIAL IN 12-INCH MAXIMUM LOOSE THICKNESS LIFTS TO RESTORE THE REQUIRED FINISHED SURFACE GRADE.

G. COMPACT FINAL TRENCH BACKFILL TO A DENSITY EQUAL TO OR GREATER THAN THAT OF THE EXISTING UNDISTURBED MATERIAL IMMEDIATELY ADJACENT TO THE TRENCH BUT NO LESS THAN A MINIMUM OF 95 PERCENT OF THE MAXIMUM DRY DENSITY AS ESTABLISHED BY THE STANDARD PROCTOR TEST, ASTM D 698.

H. PER LOCAL REGULATORY AUTHORITY AND AS APPLICABLE, ALL TRENCHES IN PUBLIC RIGHT-OF-WAY SHALL BE BACKFILLED WITH FLOWABLE FILL OR OTHER MATERIAL PRE-APPROVED BY THE LOCAL JURISDICTION.

3.5 FINISH GRADING:

A. PERFORM ALL GRADING TO PROVIDE POSITIVE DRAINAGE AWAY FROM STRUCTURES AND SMOOTH, EVEN SURFACE DRAINAGE OF THE ENTIRE AREA WITHIN THE LIMITS OF CONSTRUCTION. GRADING SHALL MATCH SURROUNDING TOPOGRAPHY AND STRUCTURES.

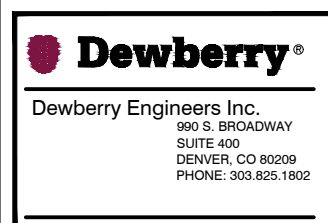
B. UTILIZE GRANULAR FILL RESULTING FROM THE EXCAVATION WORK IN THE CONSTRUCTION OF FILLS, EMBANKMENTS AND FOR REPLACEMENT OF REMOVED UNSUITABLE MATERIALS.

C. REPAIR ALL ACCESS ROADS AND SURROUNDING AREAS USED DURING THE COURSE OF THIS WORK TO THEIR ORIGINAL OR BETTER CONDITION.

D. AREAS OF THE PROJECT HOST'S PROPERTY DISTURBED BY THE WORK AND NOT COVERED BY THE EQUIPMENT OR PARKING/DRIVING AREAS SHALL BE GRADED TO A UNIFORM SLOPE AND STABILIZED TO PREVENT EROSION.

3.6 ASPHALT PAVING ROAD:

- AASHTO
- STATE SPECIFIC ASPHALT SPECIFICATIONS FOR HIGHWAYS
- THE SUB-CONTRACTOR IS RESPONSIBLE FOR RE-STRIPING AND APPLYING SEALCOATING, UNLESS OTHERWISE SPECIFIED.



DRAWN BY: TK

CHECKED BY: BG

APPROVED BY: HWJ

PROJECT #: 50123704

JOB #: 50186887

SUBMITTALS		
REV.	DATE	DESCRIPTION
1	05/27/25	SPECIAL USE PERMIT
0	04/02/25	ISSUED FOR PERMITS
A	03/21/25	ISSUED FOR 90% REVIEW

SITE NAME:
GLENWOOD SPRINGS, CO
TRT ID: 403252
JOB ID: JB-816494-00

SITE ADDRESS:
124 W 6TH STREET
GLENWOOD SPRINGS, CO 81601

SHEET TITLE
GENERAL NOTES I

SHEET NUMBER
GN-1

ELECTRICAL NOTES:

- THE GENERAL CONTRACTOR SHALL SUPPLY AND INSTALL ANY/ALL ELECTRICAL WORK INDICATED. ANY/ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH DRAWINGS, ANY/ALL APPLICABLE SPECIFICATIONS. IF ANY PROBLEMS ARE ENCOUNTERED BY COMPLYING WITH THESE REQUIREMENTS, SUB-CONTRACTOR SHALL NOTIFY THE PROJECT HOST AS SOON AS POSSIBLE, AFTER THE DISCOVERY OF THE PROBLEMS, AND SHALL NOT PROCEED WITH THAT PORTION OF WORK, UNTIL THE PROJECT HOST HAS DIRECTED THE CORRECTIVE ACTIONS TO BE TAKEN.
- THE GENERAL CONTRACTOR SHALL VISIT THE JOB SITE AND FAMILIARIZE HIMSELF WITH ANY/ALL CONDITIONS AFFECTING ELECTRICAL AND COMMUNICATION INSTALLATION AND MAKE PROVISIONS AS TO THE COST THEREOF. ALL EXISTING CONDITIONS OF ELECTRICAL EQUIPMENT, LIGHT FIXTURES, ETC., THAT ARE PART OF THE FINAL SYSTEM, SHALL BE VERIFIED BY THE SUB-CONTRACTOR, PRIOR TO THE SUBMITTAL OF HIS BID. FAILURE TO COMPLY WITH THIS PARAGRAPH WILL IN NO WAY RELIEVE THE SUBCONTRACTOR OF PERFORMING ALL WORK NECESSARY FOR A COMPLETE AND WORKING SYSTEM.
- ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE LATEST EDITION OF THE NEC AND ALL CODES AND LOCAL ORDINANCES OF THE LOCAL POWER COMPANIES HAVING JURISDICTION AND SHALL INCLUDE BUT NOT BE LIMITED TO:
 - A. UL – UNDERWRITERS LABORATORIES
 - B. NEC – NATIONAL ELECTRICAL CODE
 - C. NEMA – NATIONAL ELECTRICAL MANUFACTURERS ASSOC.
 - D. OSHA – OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION
 - E. SBC – STANDARD BUILDING CODE
 - F. NFPA – NATIONAL FIRE PROTECTION ASSOCIATION
- DO NOT SCALE ELECTRICAL DRAWINGS, REFER TO SITE PLANS AND ELEVATIONS FOR EXACT LOCATIONS OF ALL EQUIPMENT, AND CONFIRM WITH ENGINEER ANY SIZES AND LOCATIONS WHEN NEEDED.
- EXISTING SERVICES: THE GENERAL CONTRACTOR SHALL NOT INTERRUPT EXISTING SERVICES WITHOUT WRITTEN PERMISSION OF THE PROJECT HOST.
- THE GENERAL CONTRACTOR SHALL PAY FOR ANY/ALL PERMITS, FEES, INSPECTIONS AND TESTING. THE GENERAL CONTRACTOR IS TO OBTAIN PERMITS AND APPROVED SUBMITTALS PRIOR TO THE WORK BEGINNING OR ORDERING EQUIPMENT.
- THE TERM "PROVIDE" USED IN CONSTRUCTION DOCUMENTS AND SPECIFICATIONS, INDICATES THAT THE CONTRACTOR SHALL FURNISH AND INSTALL, UNLESS OTHERWISE SPECIFIED BY CONSTRUCTION MANAGER OR BY PROJECT DEVELOPER.
- THE GENERAL CONTRACTOR SHALL CONFIRM WITH LOCAL UTILITY COMPANY ANY/ALL REQUIREMENTS SUCH AS THE: LUG SIZE RESTRICTIONS, CONDUIT ENTRY, SIZE OF TRANSFORMERS, SCHEDULED DOWNTIME FOR THE PROJECT HOST'S CONFIRMATION, ETC. ANY/ALL CONFLICTS SHALL BE BROUGHT TO THE ATTENTION OF THE CONSTRUCTION MANAGER, PRIOR TO BEGINNING ANY WORK.
- CONDUCTORS: THE CONTRACTOR SHALL USE 98% CONDUCTIVITY COPPER OR ALUMINUM WITH TYPE (THWN-2) INSULATION, 600 VOLT, COLOR CODED UNLESS SPECIFIED DIFFERENTLY ON DRAWINGS.
- ALL (THWN-2) WIRING INSTALLATIONS TO FOLLOW MANUFACTURER'S INSTRUCTIONS AND RECOMMENDATIONS.
- OUTLET BOXES SHALL BE PRESSED STEEL IN DRY LOCATIONS, CAST ALLOY WITH THREADED HUBS IN WET/DAMP LOCATIONS AND SPECIAL ENCLOSURES FOR OTHER CLASSIFIED AREAS.
- IT IS NOT THE INTENT OF THESE PLANS TO SHOW EVERY MINOR DETAIL OF THE CONSTRUCTION. CONTRACTOR IS EXPECTED TO FURNISH AND INSTALL ALL ITEMS FOR A COMPLETE ELECTRICAL SYSTEM AND PROVIDE ALL REQUIREMENTS FOR THE EQUIPMENT TO BE PLACED IN PROPER WORKING ORDER. SUB-CONTRACTOR IS TO PROVIDE ALL ELECTRICAL EQUIPMENT UNLESS OTHERWISE DIRECTED.
- ALL WORK SHALL BE PERFORMED BY A LICENSED ELECTRICAL SUB-CONTRACTOR IN A FIRST CLASS, WORKMANLIKE MANNER, THE COMPLETED SYSTEM SHALL BE FULLY OPERATIVE AND SUBJECT TO REGULATORY INSPECTION AND APPROVAL BY THE CONSTRUCTION MANGER.
- ALL WORK SHALL BE COORDINATED WITH OTHER TRADES TO AVOID INTERFERENCE WITH THE PROGRESS OF CONSTRUCTION.
- THE GENERAL CONTRACTOR SHALL GUARANTEE ANY/ALL MATERIALS AND WORK FREE FROM DEFECTS FOR A PERIOD OF NOT LESS THAN ONE YEAR FROM DATE OF ACCEPTANCE.
- THE CORRECTION OF ANY DEFECTS SHALL BE COMPLETED WITHOUT ANY ADDITIONAL CHARGE AND SHALL INCLUDE THE REPLACEMENT OR THE REPAIR OF ANY OTHER PHASE OF THE INSTALLATION, WHICH MAY HAVE BEEN DAMAGED THEREIN.
- ADEQUATE AND REQUIRED LIABILITY INSURANCE SHALL BE PROVIDED FOR PROTECTION AGAINST PUBLIC LOSS AND ANY/ALL PROPERTY DAMAGE FOR THE DURATION OF WORK.
- MATERIALS, PRODUCTS AND EQUIPMENT, INCLUDING ALL COMPONENTS THEREOF, SHALL BE NEW AND SHALL APPEAR ON THE LIST OF U.L. APPROVED ITEMS AND SHALL MEET OR EXCEED THE REQUIREMENTS OF THE NEC, NEMA AND IEEE.
- GENERAL CONTRACTOR SHALL SUBMIT SHOP DRAWINGS OR MANUFACTURES CATALOG INFORMATION OF ANY/ALL LIGHTING FIXTURES, SWITCHES AND ALL OTHER ELECTRICAL ITEMS FOR APPROVAL BY THE CONSTRUCTION MANAGER PRIOR TO INSTALLATION.
- ANY CUTTING OR PATCHING DEEMED NECESSARY FOR ELECTRICAL WORK IS THE CONTRACTOR(S) RESPONSIBILITY AND SHALL BE INCLUDED IN THE COST FOR WORK AND PERFORMED TO THE SATISFACTION OF THE CONSTRUCTION MANAGER UPON FINAL ACCEPTANCE.
- THE SUBCONTRACTOR SHALL LABEL ALL PANELS WITH ONLY TYPEWRITTEN DIRECTORIES.
- DISCONNECT SWITCHES SHALL BE H.P. RATED HEAVY-DUTY, QUICK-MAKE AND QUICK-BREAK ENCLOSURES, AS REQUIRED BY EXPOSURE TYPE.
- ALL CONNECTIONS SHALL BE MADE WITH A PROTECTIVE COATING OF AN ANTI-OXIDE COMPOUND SUCH AS "NOALOX" BY IDEAL INDUSTRIAL INC. COAT ALL WIRE SURFACES BEFORE CONNECTING. EXPOSED ALUMINUM & COPPER SURFACES, INCLUDING GROUND BARS, SHALL BE TREATED – NO SUBSTITUTIONS.
- ALL EXTERIOR AND INTERIOR ABOVE GROUND CONDUIT SHALL BE RIGID GALVANIZED STEEL UNLESS SPECIFIED OTHERWISE. RACEWAYS: ALL CONDUITS SHALL BE SCHEDULE 40 EMT MEETING OR EXCEEDING NEMA TC2 – 1990 UNLESS SPECIFIED OTHERWISE. THE SUB-CONTRACTOR SHALL PLUG AND CAP EACH END OF SPARE AND EMPTY CONDUITS AND PROVIDE TWO SEPARATE PULL STRINGS – 200 LBS TEST POLYETHYLENE CORD. ALL CONDUIT BENDS SHALL BE A MINIMUM OF 3 FT. RADIUS. EMT CONDUITS WHEN SPECIFIED, SHALL MEET UL-6 FOR GALVANIZED STEEL. ALL FITTINGS SHALL BE SUITABLE FOR USE WITH THREADED RIGID CONDUIT. COAT ALL THREADS WITH "BRITE ZINC" OR "GOLD GALV".

- SUPPORT OF ALL ELECTRICAL WORK SHALL BE AS REQUIRED BY NEC.
- CONNECTORS FOR POWER CONDUCTORS: SUB-CONTRACTOR SHALL USE PRESSURE TYPE INSULATED TWIST-ON CONNECTORS FOR NO. 10 AWG AND SMALLER. USE SOLDERLESS MECHANICAL TERMINAL LUGS FOR NO. 8 AWG AND LARGER.
- THE SUB-CONTRACTOR SHALL PLACE TWO LENGTHS OF WARNING TAPE AT A DEPTH OF 12" BELOW GROUND AND DIRECTLY ABOVE ELECTRICAL SERVICE CONDUITS. CAUTIONS TAPE TO READ "CAUTION BURIED ELECTRIC".
- WHEN DIRECTIONAL BORING IS REQUIRED, SUB-CONTRACTOR SHALL INSTALL A LOOSE TONING WIRE WITHIN INSTALLED CONDUIT TO ALLOW FOR IDENTIFICATION OF UNDERGROUND CONDUITS.
- ALL BOLTS SHALL BE STAINLESS STEEL.
- ALL MATERIALS AND EQUIPMENT SUPPLIED AND INSTALLED BY THE SUBCONTRACTOR SHOULD BE NEW AND UNUSED.
- PER NEC 625.22 – THE USER INTERFACE (CHARGE POST) IS CONTROLLED BY THE ELECTRICAL EQUIPMENT (SUPERCHARGER CABINET) AND THE FOLLOWING PRECAUTIONS HAVE BEEN TAKEN TO ENSURE THE SAFETY OF CUSTOMERS AND THOSE AROUND THE EQUIPMENT. BEFORE ANY VOLTAGE OR CURRENT IS APPLIED TO THE CHARGE POST, THE CABINET MUST COMMUNICATE WITH THE TESLA VEHICLE. THERE IS A "HANDSHAKE" BETWEEN THE CAR AND THE CABINET CONFIRMING THAT THE VEHICLE IS ACTUALLY A TESLA AND THAT THE VEHICLE CAN HANDLE THE SUPERCHARGING. VOLTAGE IS THEN APPLIED TO THE POWER SOCKETS IN THE CHARGE POST AND ONCE THE VOLTAGE READING FROM THE CAR IS VERIFIED AS THE SAME IN THE CHARGING CABINET, THEN CURRENT BEGINS TO FLOW. IF AT ANY POINT IN THIS PROCESS A FAULT IS DETECTED, THE CHARGING WILL STOP IMMEDIATELY, WITHIN A MATTER OF MILLISECONDS. DURING THE NORMAL CHARGING CYCLE, IF ANY FAULT OR IRREGULARITY IS DETECTED, THE CHARGING WILL AGAIN STOP WITHIN MILLISECONDS OF DETECTION. BEYOND THIS LOGIC PROTECTION, THERE IS PHYSICAL PROTECTION FROM OVER-CURRENT OR OVER-VOLTAGE WITHIN EACH OF THE CHARGERS. BEYOND THAT, FAST ACTING FUSES ALSO PROTECT THE VEHICLE OUTPUTS FROM OUTPUTTING TOO HIGH OF A CURRENT.

REINFORCED CONCRETE NOTES:

- DESIGN AND CONSTRUCTION OF ALL CONCRETE ELEMENTS SHALL CONFORM TO THE LATEST EDITIONS OF THE FOLLOWING APPLICABLE CODES: ACI 301 "SPECIFICATIONS FOR STRUCTURAL CONCRETE FOR BUILDINGS"; ACI 318, "BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE".
- DO NOT USE RETEMPERED CONCRETE, OR ADD WATER TO READY-MIX CONCRETE AT THE JOB SITE. MIX DESIGN SHALL BE APPROVED BY OWNER'S REPRESENTATIVE PRIOR TO PLACING CONCRETE.
- ANY NEW CONCRETE NEEDED FOR THE CONSTRUCTION SHALL BE AIR-ENTRAINED AND SHALL HAVE 4,000 PSI STRENGTH AT 28 DAYS (UNLESS OTHERWISE NOTED). ALL CONCRETE WORK SHALL BE DONE IN ACCORDANCE WITH ACI 318 CODE REQUIREMENTS.
- MAXIMUM AGGREGATE SIZE SHALL BE 3/4".
- THE FOLLOWING MATERIALS SHALL BE USED:

PORTLAND CEMENT:	ASTM C 150, TYPE I
REINFORCEMENT:	ASTM A 615, GRADE 60
NORMAL WEIGHT AGGREGATE:	ASTM C 33
WATER:	DRINKABLE
ADMIXTURES:	NON-CHLORIDE CONTAINING
- REINFORCING DETAILS SHALL BE IN ACCORDANCE WITH "DETAILING MANUAL-2004 PUBLICATION SP-66" AND "BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE", ACI-318-08.
- REINFORCING STEEL SHALL CONFORM TO ASTM A 615, GRADE 60, DEFORMED UNLESS NOTED OTHERWISE. WELDED WIRE FABRIC SHALL CONFORM TO ASTM A 185 WELDED STEEL WIRE FABRIC UNLESS NOTED OTHERWISE. SPLICES SHALL BE CLASS "B"; ALL HOOKS SHALL BE STANDARD, UNO.
- THE FOLLOWING MINIMUM CONCRETE COVER SHALL BE PROVIDED FOR REINFORCING STEEL UNLESS SHOWN OTHERWISE ON DRAWINGS:

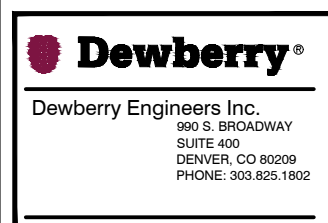
CONCRETE CAST AGAINST EARTH:	3 IN.
CONCRETE EXPOSED TO EARTH OR WEATHER:	#6 AND LARGER 2 IN. #5 AND SMALLER & WWF 1-1/2 IN.
CONCRETE NOT EXPOSED TO EARTH OR WEATHER OR NOT CAST AGAINST THE GROUND:	SLAB AND WALL 3/4 IN. BEAMS AND COLUMNS 1-1/2 IN.
- A CHAMFER 3/4" SHALL BE PROVIDED AT ALL EXPOSED EDGES OF CONCRETE, IN ACCORDANCE WITH ACI 301 SECTION 4.2.4.
- INSTALLATION OF CONCRETE ANCHOR, SHALL BE PER MANUFACTURERS WRITTEN RECOMMENDED PROCEDURE. THE ANCHOR BOLT, DOWEL OR ROD SHALL CONFORM TO MANUFACTURER'S RECOMMENDATION FOR EMBEDMENT DEPTH OR AS SHOWN ON THE DRAWINGS. NO REBAR SHALL BE CUT WITHOUT PRIOR ENGINEERING APPROVAL WHEN DRILLING HOLES IN CONCRETE.
- CURING COMPOUNDS SHALL CONFORM TO ASTM C-309.
- ADMIXTURES SHALL CONFORM TO THE APPROPRIATE ASTM STANDARD AS REFERENCED IN ACI-301.
- DO NOT WELD OR TACKWELD REINFORCING STEEL.
- ALL DOWELS, ANCHOR BOLTS, EMBEDDED STEEL, ELECTRICAL CONDUITS, PIPE SLEEVES, GROUNDS AND ALL OTHER EMBEDDED ITEMS AND FORMED DETAILS SHALL BE IN PLACE BEFORE START OF CONCRETE PLACEMENT.
- LOCATE ADDITIONAL EXPANSION JOINTS REQUIRED TO FACILITATE CONSTRUCTION AS ACCEPTABLE TO ENGINEER. PLACE REINFORCEMENT CONTINUOUSLY THROUGH JOINT.
- REINFORCEMENT SHALL BE COLD BENT WHENEVER BENDING IS REQUIRED.
- PLACE CONCRETE IN A UNIFORM MANNER TO PREVENT THE FORMATION OF COLD JOINTS AND OTHER PLANES OF WEAKNESS. VIBRATE THE CONCRETE TO FULLY EMBED REINFORCING. DO NOT USE VIBRATORS TO TRANSPORT CONCRETE THROUGH CHUTES OR FORMWORK.
- DO NOT PLACE CONCRETE IN WATER, ICE, OR ON FROZEN GROUND.
- DO NOT ALLOW CONCRETE SUBBASE TO FREEZE DURING CONCRETE CURING AND SETTING PERIOD, OR FOR A MINIMUM OF 14 DAYS AFTER PLACEMENT.
- MAINTAIN TEMPERATURE OF CAST IN PLACE CONCRETE BETWEEN 50 DEGREES AND 90 DEGREES FAHRENHEIT. FOR COLD-WEATHER AND HOT-WEATHER CONCRETE PLACEMENT, CONFORM TO APPLICABLE ACI CODES AND RECOMMENDATIONS. IN EITHER CASE, MATERIALS CONTAINING CHLORIDE, CALCIUM, SALTS, ETC. SHALL NOT BE USED. PROTECT FRESH CONCRETE FROM WEATHER FOR 7 DAYS MINIMUM.
- UNLESS INDICATED OTHERWISE ON THE DRAWINGS, REINFORCEMENT SPLICES SHALL MEET CLASS B, TENSION LAP REQUIREMENTS IN ACCORDANCE WITH ALL PROVISIONS OF ACI 318 LATEST EDITION, UNLESS NOTED OTHERWISE.
- PROVIDE ACCESSORIES NECESSARY TO PROPERLY SUPPORT REINFORCING.

TRAFFIC MANAGEMENT NOTES:

- ALL TEMPORARY CONTROL WORK SHALL CONFORM TO THE LATEST EDITION OF THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" (MUTCD) AND ALL REVISIONS, UNLESS SUPERCEDED BY THESE PLANS.
- ALL SIGN LEGENDS, BORDERS, AND MOUNTING SHALL BE IN ACCORDANCE WITH THE MUTCD.
- TEMPORARY CONSTRUCTION SIGNING AND ALL OTHER TRAFFIC CONTROL DEVICES SHALL BE IN PLACE PRIOR TO THE START OF ANY WORK.
- TEMPORARY CONSTRUCTION SIGNING, BARRICADES, AND ALL OTHER NECESSARY WORK ZONE TRAFFIC CONTROL DEVICES SHALL BE REMOVED FROM THE HIGHWAY OR COVERED WHEN THEY ARE NOT REQUIRED FOR CONTROL OF TRAFFIC.
- SIGNS AND SIGN SUPPORTS LOCATED ON OR NEAR THE TRAVELED WAY, CHANNELIZING DEVICES, BARRIERS, AND CRASH ATTENUATORS MUST PASS THE CRITERIA SET FORTH IN NCHRP REPORT 350, "RECOMMENDED PROCEDURES FOR THE SAFETY PERFORMANCE EVALUATION OF HIGHWAY FEATURES" AND/OR "MANUAL FOR ASSESSING SAFETY HARDWARE" (MASH).
- CONTRACTORS SHALL NOTIFY THE OWNER AND ALL TENANTS OF THIS PROPERTY AT LEAST 24 HOURS IN ADVANCE OF THE START OF ANY WORK THAT WILL REQUIRE THE TEMPORARY CLOSURE OF ACCESS, SUCH AS CONDUIT INSTALLATION, EXISTING PAVEMENT EXCAVATION, TEMPORARY DRIVEWAY PAVEMENT PLACEMENT, AND SIMILAR OPERATIONS.
- THE FIRST FIVE PLASTIC DRUMS OF A TAPER SHALL BE MOUNTED WITH TYPE A LIGHTS.
- MAXIMUM SPACING OF TRAFFIC DEVICES IN A TAPER (DRUMS OR CONES) IS EQUAL IN FEET TO THE SPEED LIMIT IN MPH.
- MINIMUM LANE WIDTH IS TO BE 11 FEET (3.3m) UNLESS OTHERWISE SHOWN. MINIMUM LANE WIDTH TO BE MEASURED FROM THE EDGE OF DRUMS OR MEDIAN BARRIER.
- EXISTING PEDESTRIAN ACCESS SHALL BE MAINTAINED AT ALL TIMES THROUGH A COMBINATION OF PEDESTRIAN DETOURS OR PROTECTED SAFE ROUTES. ALL PEDESTRIAN ROUTES SHALL MEET APPLICABLE ACCESSIBILITY REQUIREMENTS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTENANCE AND PROTECTION OF TRAFFIC THROUGHOUT CONSTRUCTION AT THIS LOCATION. THE CONTRACTOR SHALL INSTALL TEMPORARY TRAFFIC SIGNS, DRUMS, CONES, OR OTHER TRAFFIC CONTROL DEVICES TO DIRECT VEHICLES AND PEDESTRIANS AROUND THE WORK ZONE.

HORIZONTAL DIRECT DRILLING NOTES:

- THE WORK SPECIFIED IN THIS SECTION CONSISTS OF FURNISHING AND INSTALLING UNDERGROUND UTILITIES USING THE DIRECTIONAL BORING (HORIZONTAL DIRECTIONAL DRILLING, HDD) METHOD OF INSTALLATION, ALSO COMMONLY REFERRED TO AS GUIDED HORIZONTAL BORING. THIS WORK SHALL INCLUDE ALL SERVICES, EQUIPMENT, MATERIALS, AND LABOR FOR THE COMPLETE AND PROPER INSTALLATION, TESTING, RESTORATION OF UNDERGROUND UTILITIES AND ENVIRONMENTAL PROTECTION AND RESTORATION.
- WORK PLAN: PRIOR TO BEGINNING WORK, THE CONTRACTOR MUST SUBMIT TO THE ENGINEER A GENERAL WORK PLAN OUTLINING THE PROCEDURE AND SCHEDULE TO BE USED TO EXECUTE THE PROJECT. PLAN SHOULD DOCUMENT THE THOUGHTFUL PLANNING REQUIRED TO SUCCESSFULLY COMPLETE THE PROJECT.
- ENVIRONMENTAL PROTECTION: CONTRACTOR SHALL PLACE SILT FENCE BETWEEN ALL BORING OPERATIONS AND ANY DRAINAGE, WETLAND, WATERWAY OR OTHER AREA DESIGNATED FOR SUCH PROTECTION BY CONTRACT DOCUMENTS, STATE, FEDERAL AND LOCAL REGULATIONS. ADDITIONAL ENVIRONMENTAL PROTECTION NECESSARY TO CONTAIN ANY HYDRAULIC OR BORING FLUID SPILLS SHALL BE PUT IN PLACE, INCLUDING BERMS, LINERS, TURBIDITY CURTAINS AND OTHER MEASURES. CONTRACTOR SHALL ADHERE TO ALL APPLICABLE ENVIRONMENTAL REGULATIONS. FUEL OR OIL MAY NOT BE STORED IN BULK CONTAINERS WITHIN 200' OF ANY WATER-BODY OR WET-LAND.
- UTILITY LOCATES: CONTRACTOR SHALL NOTIFY ALL COMPANIES WITH UNDERGROUND UTILITIES IN THE WORK AREA VIA THE STATE OR LOCAL "ONE-CALL" TO OBTAIN UTILITY LOCATES. ONCE THE UTILITIES HAVE BEEN LOCATED CONTRACTOR SHALL PHYSICALLY IDENTIFY THE EXACT LOCATION OF THE UTILITIES BY VACUUM OR HAND EXCAVATION, WHEN POSSIBLE, IN ORDER TO DETERMINE THE ACTUAL LOCATION AND PATH OF ANY UNDERGROUND UTILITIES WHICH MIGHT BE WITHIN 20 FEET OF THE BORE PATH. CONTRACTOR SHALL NOT COMMENCE BORING OPERATIONS UNTIL THE LOCATION OF ALL UNDERGROUND UTILITIES WITHIN THE WORK AREA HAVE BEEN VERIFIED.
- SAFETY: CONTRACTOR SHALL ADHERE TO ALL APPLICABLE STATE, FEDERAL AND LOCAL SAFETY REGULATIONS AND ALL OPERATIONS SHALL BE CONDUCTED IN A SAFE MANNER. SAFETY MEETINGS SHALL BE CONDUCTED AT LEAST WEEKLY WITH A WRITTEN RECORD OF ATTENDANCE AND TOPIC SUBMITTED TO ENGINEER.
- SITE RESTORATION: FOLLOWING BORING OPERATIONS, CONTRACTOR WILL DE-MOBILIZE EQUIPMENT AND RESTORE THE WORK-SITE TO ORIGINAL CONDITION. ALL EXCAVATIONS WILL BE BACKFILLED AND COMPACTED TO 95% OF ORIGINAL DENSITY. LANDSCAPING WILL BE RESTORED TO ORIGINAL.
- RECORD KEEPING: CONTRACTOR SHALL MAINTAIN A DAILY PROJECT LOG OF BORING OPERATIONS AND A GUIDANCE SYSTEM LOG WITH A COPY GIVEN TO ENGINEER AT COMPLETION OF PROJECT. AS-BUILT DRAWINGS SHALL BE CERTIFIED AS TO ACCURACY BY CONTRACTOR.



DRAWN BY:	TK
CHECKED BY:	BG
APPROVED BY:	HWJ
PROJECT #:	50123704
JOB #:	50186887

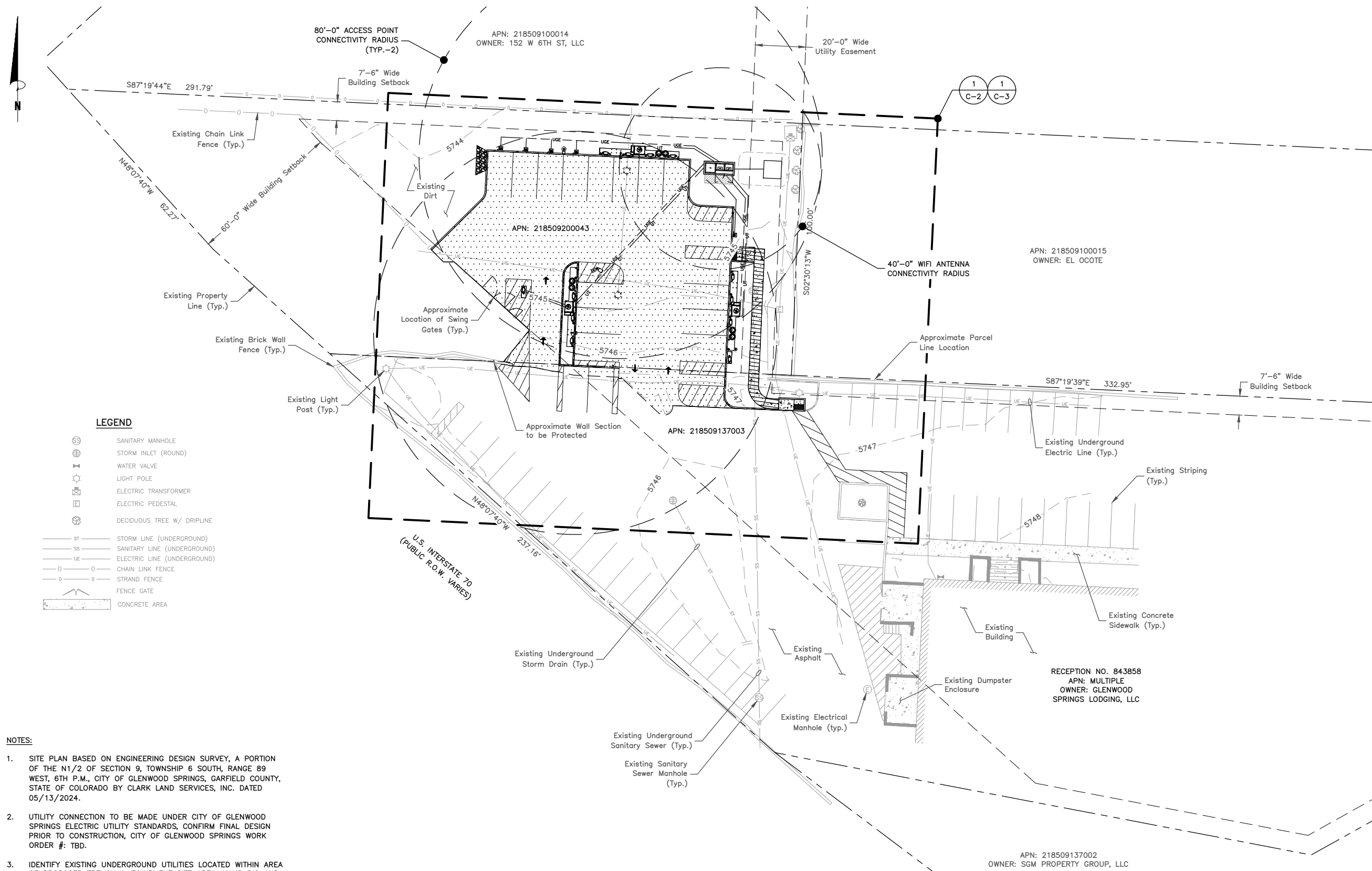
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REV.	DATE	DESCRIPTION
1	05/27/25	SPECIAL USE PERMIT
0	04/02/25	ISSUED FOR PERMITS
A	03/21/25	ISSUED FOR 90% REVIEW

SITE NAME:
GLENWOOD SPRINGS, CO
 TRT ID: 403252
 JOB ID: JB-816494-00

SITE ADDRESS:
 124 W 6TH STREET
 GLENWOOD SPRINGS, CO 81601

SHEET TITLE
GENERAL NOTES II

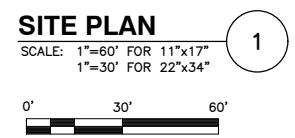
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GN-2



LEGEND

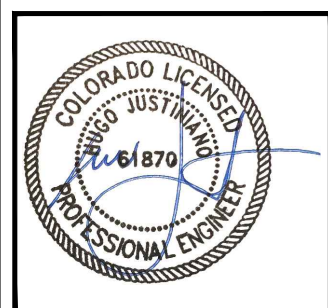
- SANITARY MANHOLE
- STORM INLET (ROUND)
- WATER VALVE
- LIGHT POLE
- ELECTRIC TRANSFORMER
- ELECTRIC PEDESTAL
- DECIDUOUS TREE W/ DRIPLINE
- ST STORM LINE (UNDERGROUND)
- SS SANITARY LINE (UNDERGROUND)
- UE ELECTRIC LINE (UNDERGROUND)
- CHAIN LINK FENCE
- STRAND FENCE
- FENCE GATE
- CONCRETE AREA

- NOTES:**
- SITE PLAN BASED ON ENGINEERING DESIGN SURVEY, A PORTION OF THE N1/2 OF SECTION 9, TOWNSHIP 6 SOUTH, RANGE 89 WEST, 6TH P.M., CITY OF GLENWOOD SPRINGS, GARFIELD COUNTY, STATE OF COLORADO BY CLARK LAND SERVICES, INC. DATED 05/13/2024.
 - UTILITY CONNECTION TO BE MADE UNDER CITY OF GLENWOOD SPRINGS ELECTRIC UTILITY STANDARDS, CONFIRM FINAL DESIGN PRIOR TO CONSTRUCTION, CITY OF GLENWOOD SPRINGS WORK ORDER #: TBD.
 - IDENTIFY EXISTING UNDERGROUND UTILITIES LOCATED WITHIN AREA OF PROPOSED TRENCH & EQUIPMENT SITE AREA. HAND DIG AND RELOCATE AS REQUIRED.
 - EXISTING CUSTOMER OWNED ELECTRICAL CONDUIT TO BE RELOCATED AS NEEDED DURING CONSTRUCTION.
 - EXISTING STORM DRAIN INLETS TO BE PROTECTED DURING CONSTRUCTION.
 - CONTRACTOR TO CONFIRM ADA/ACCESSIBLE STRIPING & ASSOCIATED STALLS HAVE <2% GRADE IN ALL DIRECTIONS.
 - CONTRACTOR TO CONFIRM DEPTH OF EXISTING SANITARY SEWER PRIOR TO CONSTRUCTION. NOTIFY ENGINEER IF DEPTH BELOW SURFACE IS LESS THAN 36".



3500 DEER CREEK ROAD
PALO ALTO, CA 94304
(650) 681-5000

Dewberry Engineers Inc.
990 S. BROADWAY
SUITE 400
DENVER, CO 80209
PHONE: 303.825.1802



DRAWN BY:	TK
CHECKED BY:	BG
APPROVED BY:	HWJ
PROJECT #:	50123704
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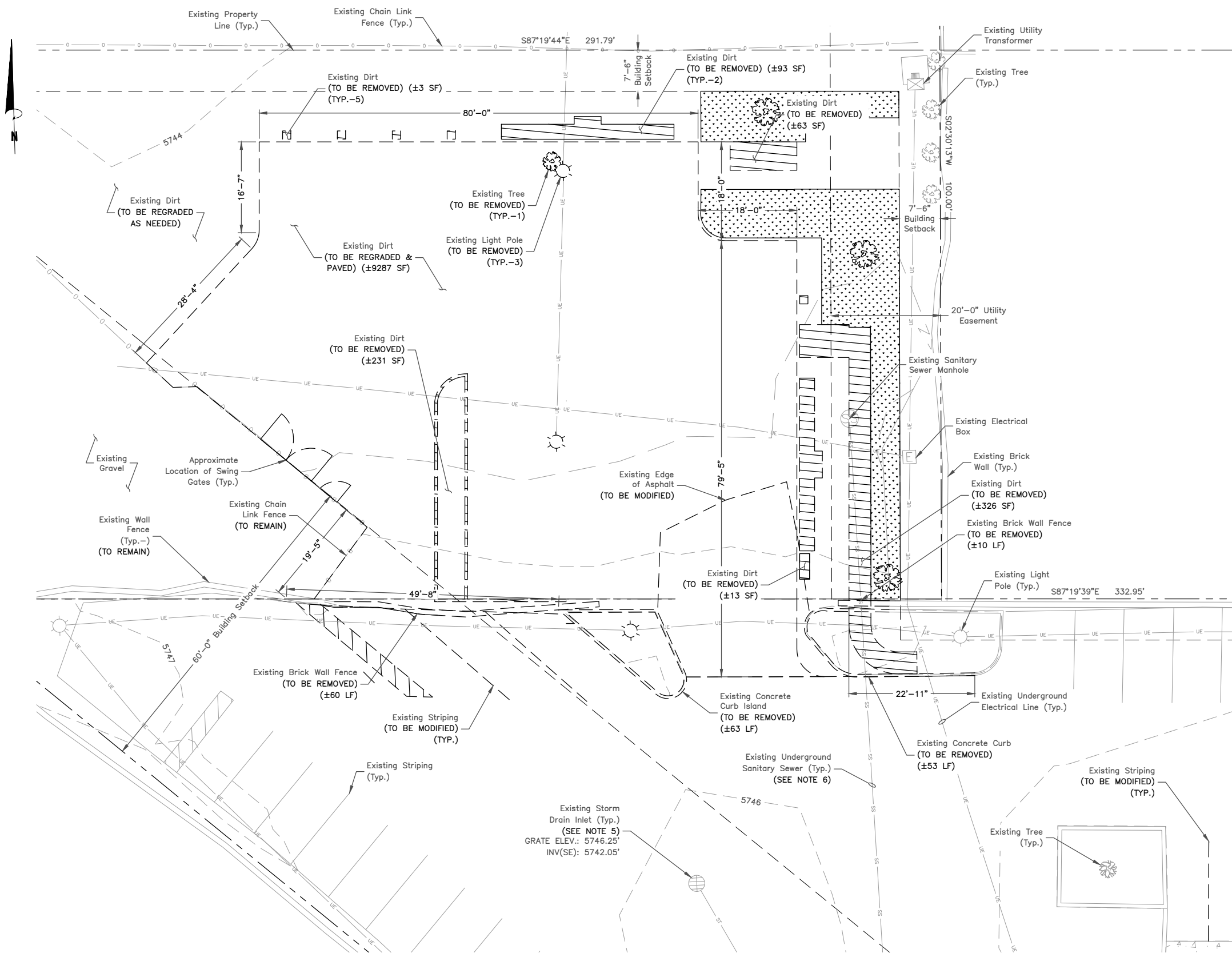
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REV.	DATE	DESCRIPTION
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0	04/02/25	ISSUED FOR PERMITS
A	03/21/25	ISSUED FOR 90% REVIEW

SITE NAME:
GLENWOOD SPRINGS, CO
TRT ID: 403252
JOB ID: JB-816494-00

SITE ADDRESS:
124 W 6TH STREET
GLENWOOD SPRINGS, CO 81601

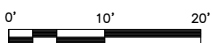
SHEET TITLE
SITE PLAN

SHEET NUMBER
C-1



EXISTING CONDITIONS PLAN 1

SCALE: 1"=20' FOR 11"x17"
1"=10' FOR 22"x34"



NOTES:

- SITE PLAN BASED ON ENGINEERING DESIGN SURVEY, A PORTION OF THE N1/2 OF SECTION 9, TOWNSHIP 6 SOUTH, RANGE 89 WEST, 6TH P.M., CITY OF GLENWOOD SPRINGS, GARFIELD COUNTY, STATE OF COLORADO BY CLARK LAND SERVICES, INC. DATED 05/13/2024.
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- CONTRACTOR TO CONFIRM DEPTH OF EXISTING SANITARY SEWER PRIOR TO CONSTRUCTION. NOTIFY ENGINEER IF DEPTH BELOW SURFACE IS LESS THAN 36".



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DRAWN BY: TK

CHECKED BY: BG

APPROVED BY: HWJ

PROJECT #: 50123704

JOB #: 50186887

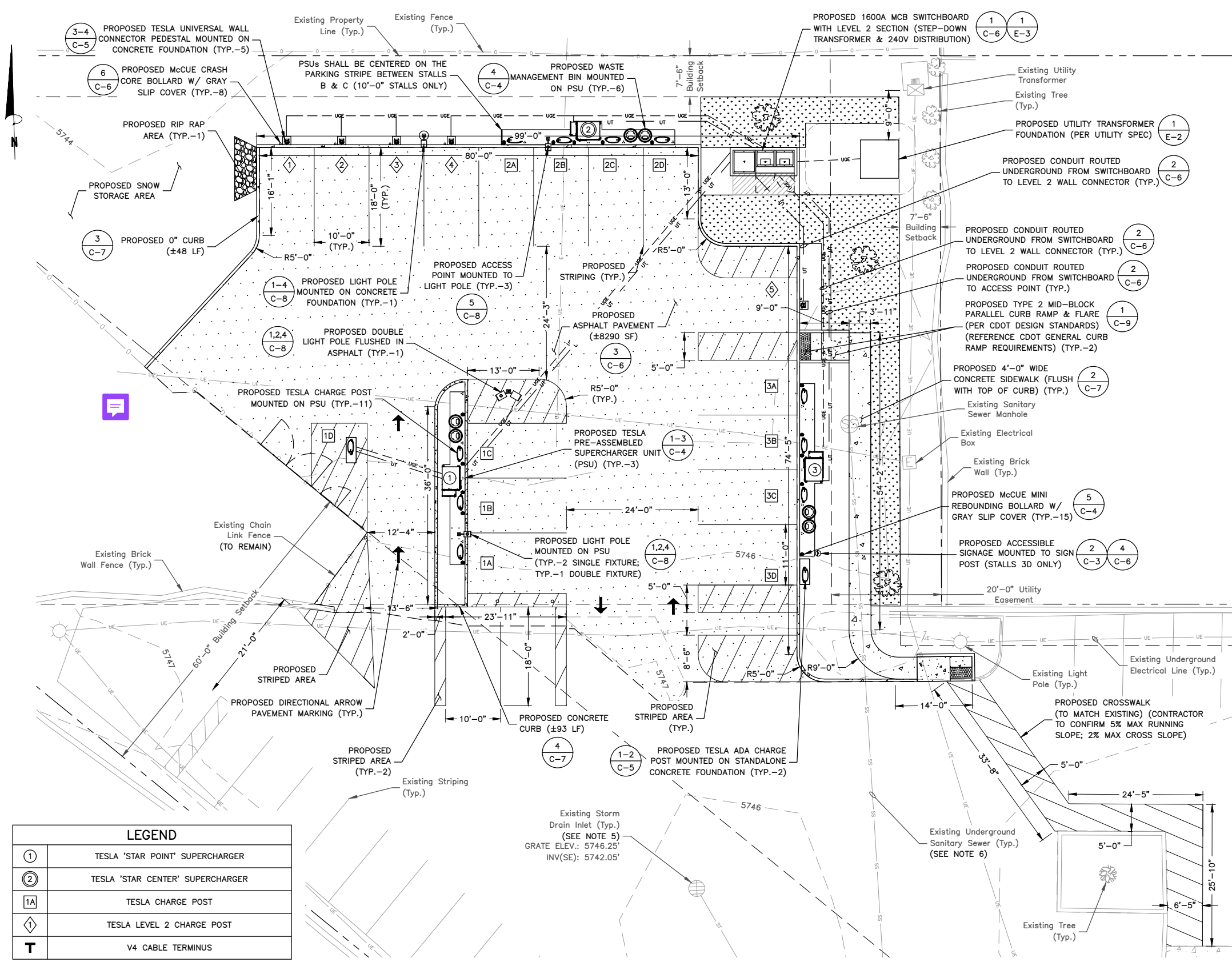
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1	05/27/25	SPECIAL USE PERMIT
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SITE NAME:
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GLENWOOD SPRINGS, CO 81601

SHEET TITLE
EXISTING CONDITIONS PLAN

SHEET NUMBER
C-2

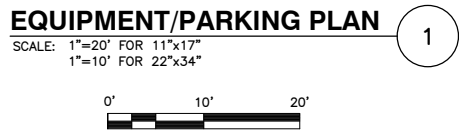


LEGEND

①	TESLA 'STAR POINT' SUPERCHARGER
②	TESLA 'STAR CENTER' SUPERCHARGER
1A	TESLA CHARGE POST
◇	TESLA LEVEL 2 CHARGE POST
T	V4 CABLE TERMINUS

PARKING STALL SCHEDULE

DESCRIPTION	QUANTITY
EXISTING STALLS (TO BE MODIFIED)	3
PROPOSED TESLA STALLS	18
PROPOSED STANDARD STALLS	2
NET PARKING STALL CHANGE	+17



ACCESSIBLE SIGNAGE DETAIL 2
SCALE: N.T.S.



TESLA/CO NEVI SIGNAGE DETAIL 3
SCALE: N.T.S.

- NOTES:**
- SITE PLAN BASED ON ENGINEERING DESIGN SURVEY, A PORTION OF THE N1/2 OF SECTION 9, TOWNSHIP 6 SOUTH, RANGE 89 WEST, 6TH P.M., CITY OF GLENWOOD SPRINGS, GARFIELD COUNTY, STATE OF COLORADO BY CLARK LAND SERVICES, INC. DATED 05/13/2024.
 - UTILITY CONNECTION TO BE MADE UNDER CITY OF GLENWOOD SPRINGS ELECTRIC UTILITY STANDARDS, CONFIRM FINAL DESIGN PRIOR TO CONSTRUCTION, CITY OF GLENWOOD SPRINGS WORK ORDER #: TBD.
 - IDENTIFY EXISTING UNDERGROUND UTILITIES LOCATED WITHIN AREA OF PROPOSED TRENCH & EQUIPMENT SITE AREA. HAND DIG AND RELOCATE AS REQUIRED.
 - EXISTING CUSTOMER OWNED ELECTRICAL CONDUIT TO BE RELOCATED AS NEEDED DURING CONSTRUCTION.
 - EXISTING STORM DRAIN INLETS TO BE PROTECTED DURING CONSTRUCTION.
 - CONTRACTOR TO CONFIRM ADA/ACCESSIBLE STRIPING & ASSOCIATED STALLS HAVE <2% GRADE IN ALL DIRECTIONS.
 - CONTRACTOR TO CONFIRM DEPTH OF EXISTING SANITARY SEWER PRIOR TO CONSTRUCTION. NOTIFY ENGINEER IF DEPTH BELOW SURFACE IS LESS THAN 36".

3500 DEER CREEK ROAD
PALO ALTO, CA 94304
(650) 681-5000

Dewberry Engineers Inc.
990 S. BROADWAY
SUITE 400
DENVER, CO 80209
PHONE: 303.825.1802

DRAWN BY:	TK
CHECKED BY:	BG
APPROVED BY:	HWJ
PROJECT #:	50123704
JOB #:	50186887

SUBMITTALS

REV.	DATE	DESCRIPTION
1	05/27/25	SPECIAL USE PERMIT
0	04/02/25	ISSUED FOR PERMITS
A	03/21/25	ISSUED FOR 90% REVIEW

SITE NAME:
GLENWOOD SPRINGS, CO
TRT ID: 403252
JOB ID: JB-816494-00

SITE ADDRESS:
124 W 6TH STREET
GLENWOOD SPRINGS, CO 81601

SHEET TITLE
EQUIPMENT/PARKING PLAN

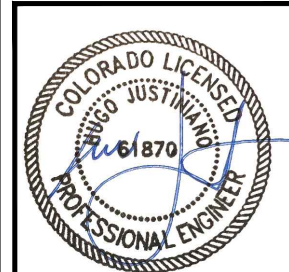
SHEET NUMBER
C-3



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PALO ALTO, CA 94304
(650) 681-5000



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990 S. BROADWAY
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DRAWN BY: TK

CHECKED BY: BG

APPROVED BY: HWJ

PROJECT #: 50123704

JOB #: 50186887

SUBMITTALS

REV.	DATE	DESCRIPTION
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0	04/02/25	ISSUED FOR PERMITS
A	03/21/25	ISSUED FOR 90% REVIEW

SITE NAME:

GLENWOOD SPRINGS, CO
TRT ID: 403252
JOB ID: JB-816494-00

SITE ADDRESS:

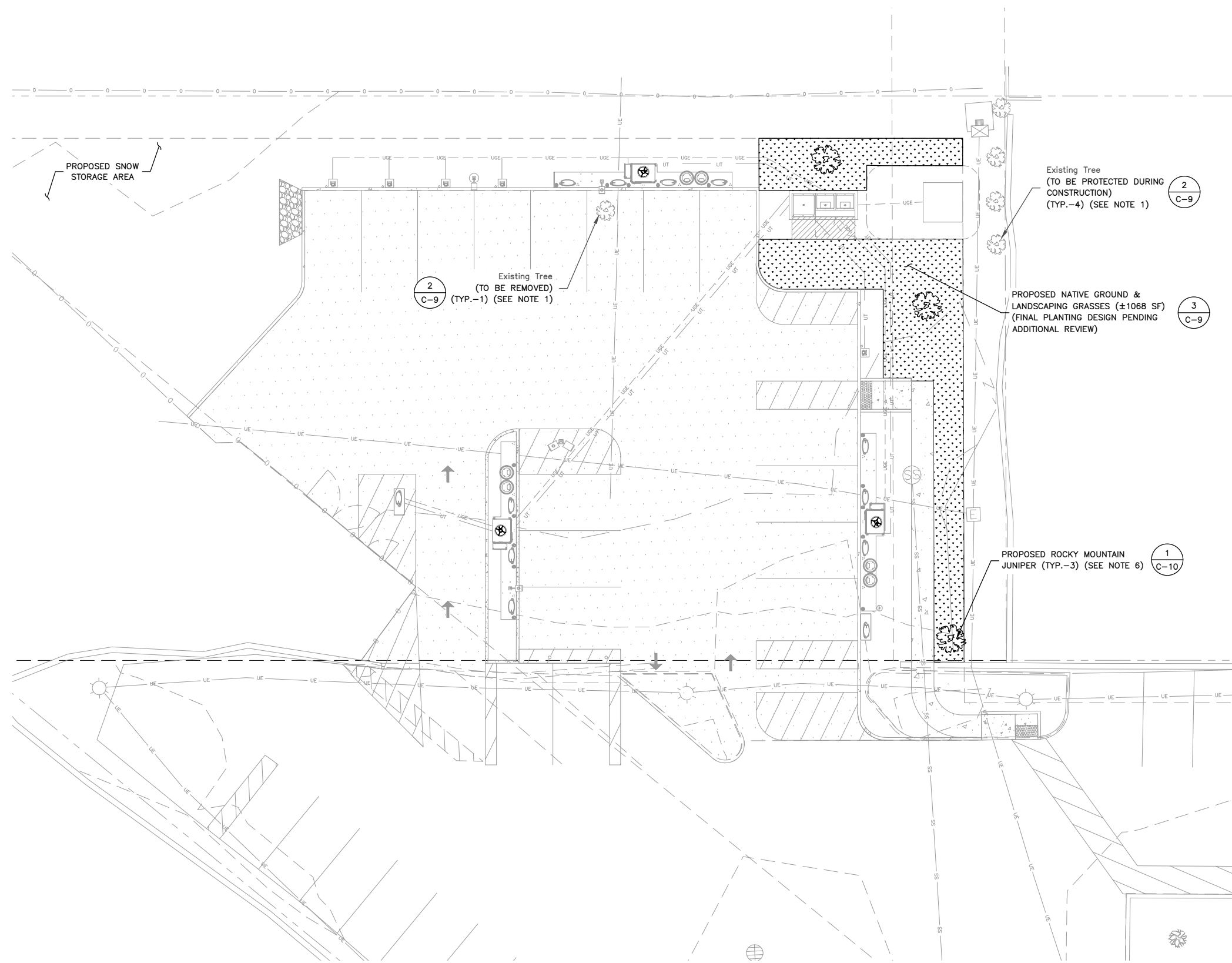
124 W 6TH STREET
GLENWOOD SPRINGS, CO 81601

SHEET TITLE

LANDSCAPING PLAN

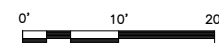
SHEET NUMBER

C-3A



LANDSCAPING PLAN

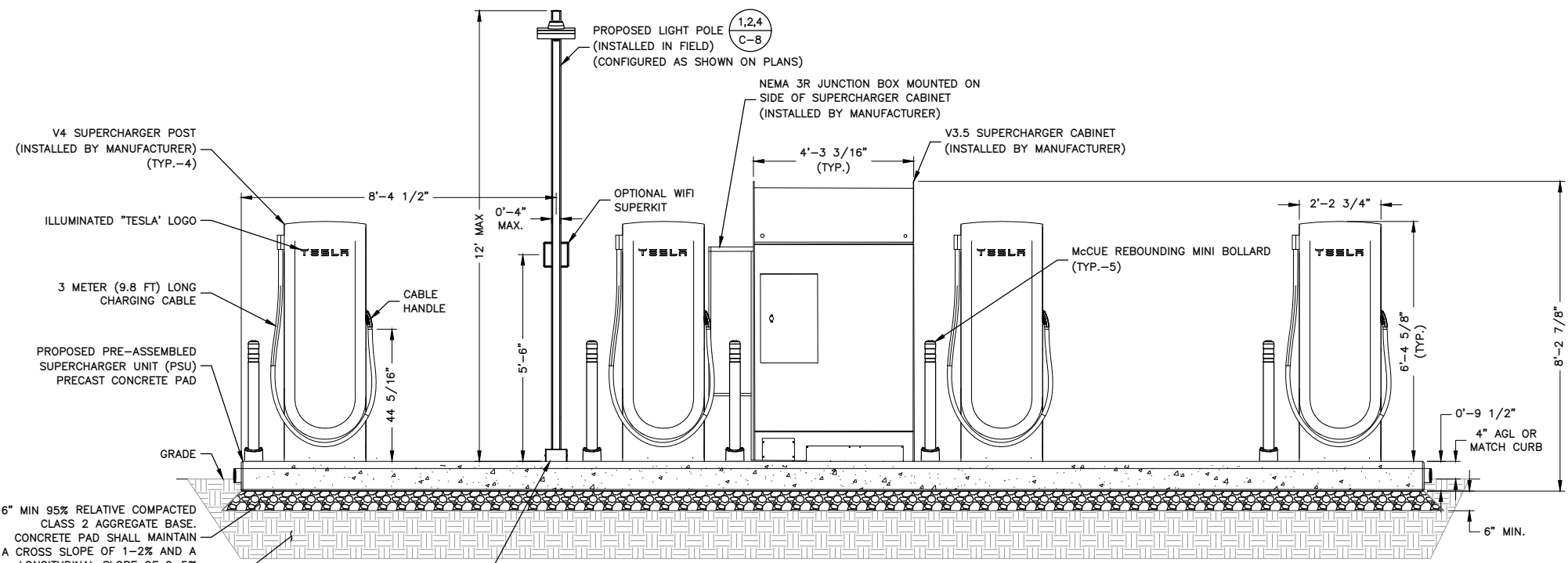
SCALE: 1"=20' FOR 11"x17"
1"=10' FOR 22"x34"



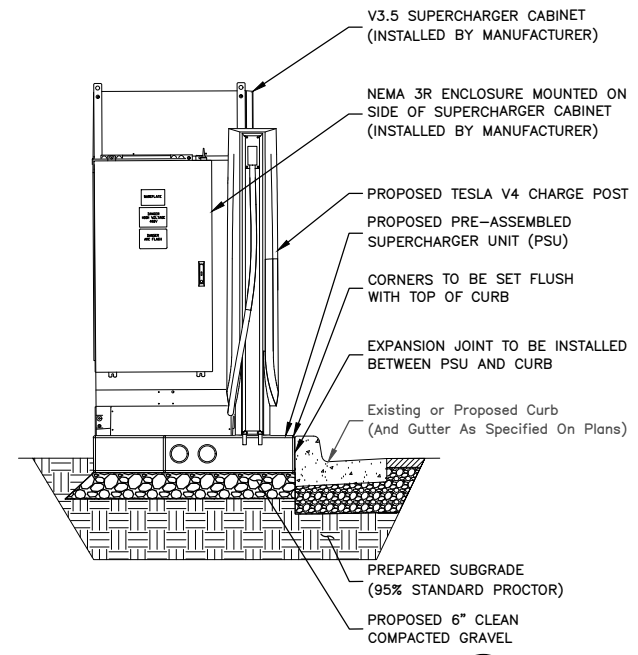
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LANDSCAPING NOTES:

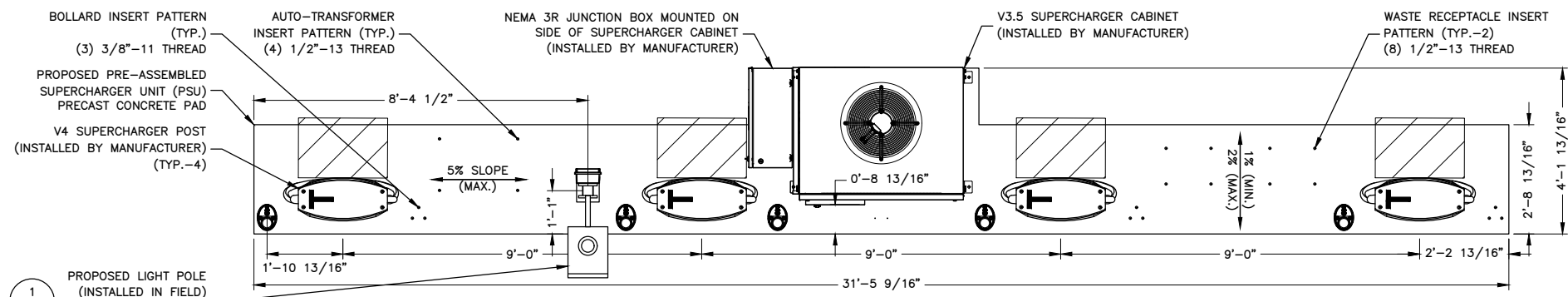
1. CONTRACTOR TO SEED & STRAW ALL DISTURBED AREA AFTER CONSTRUCTION HAS BEEN COMPLETED.
2. FINAL LANDSCAPING PLAN TO BE CONFIRMED PRIOR TO CONSTRUCTION.
3. CONTRACTOR TO PROVIDE 18 MONTH GUARANTEE ON ALL PLANTINGS FROM TIME OF SITE APPROVAL.
4. CONTRACTOR TO TAKE NECESSARY PRECAUTIONS TO PROTECT TREES, VEGETATION, AND ROOT SYSTEMS DURING CONSTRUCTION. ANY LANDSCAPING REMOVED OR DAMAGED TO BE REPLACED IN KIND.
5. PROPOSED PLANTINGS TO BE FIELD LOCATED, SPACED & STAGGERED, TO PROVIDE TIGHT HEDGE SCREENING. COORDINATE FINAL LANDSCAPING FINISHES PRIOR TO CONSTRUCTION.



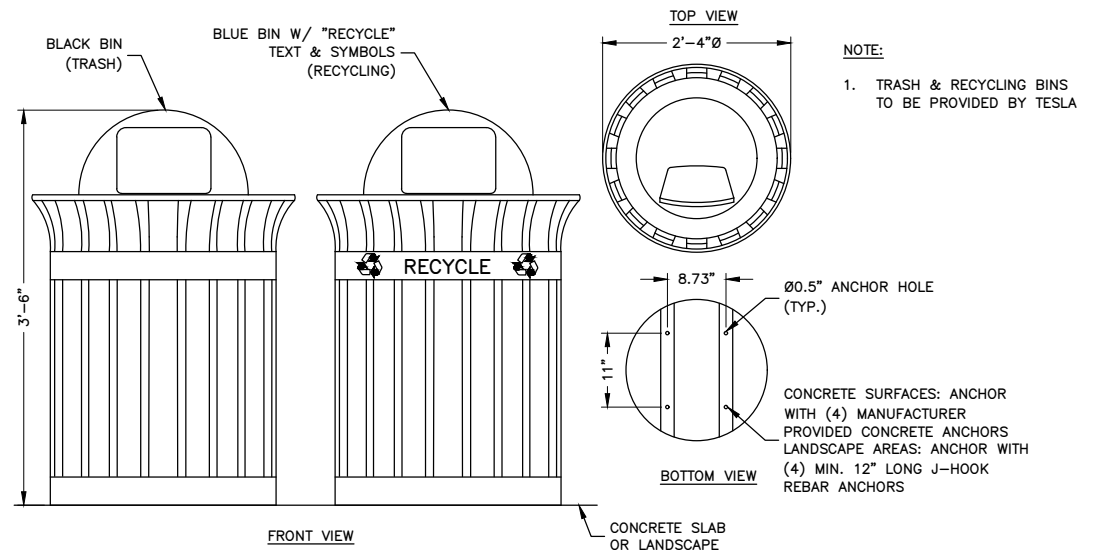
STANDARD V4 PSU ELEVATION 1
SCALE: N.T.S.



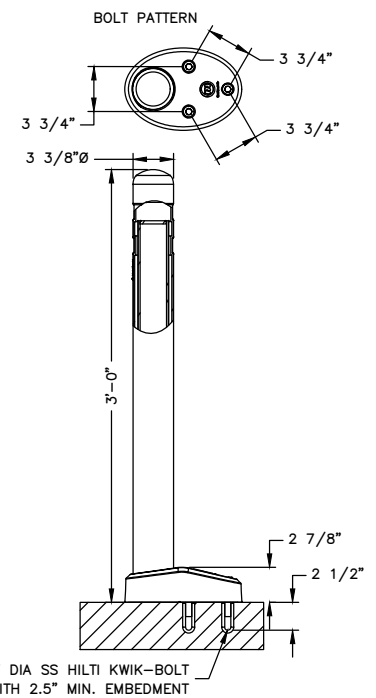
STANDARD V4 PSU SIDE VIEW 2
SCALE: N.T.S.



V4 PSU PLAN VIEW 3
SCALE: N.T.S.



TRASH & RECYCLING BINS DETAIL 4
SCALE: N.T.S.



McCUE MINI REBOUNING BOLLARD 5
SCALE: N.T.S.



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APPROVED BY:	HWJ
PROJECT #:	50123704
JOB #:	50186887

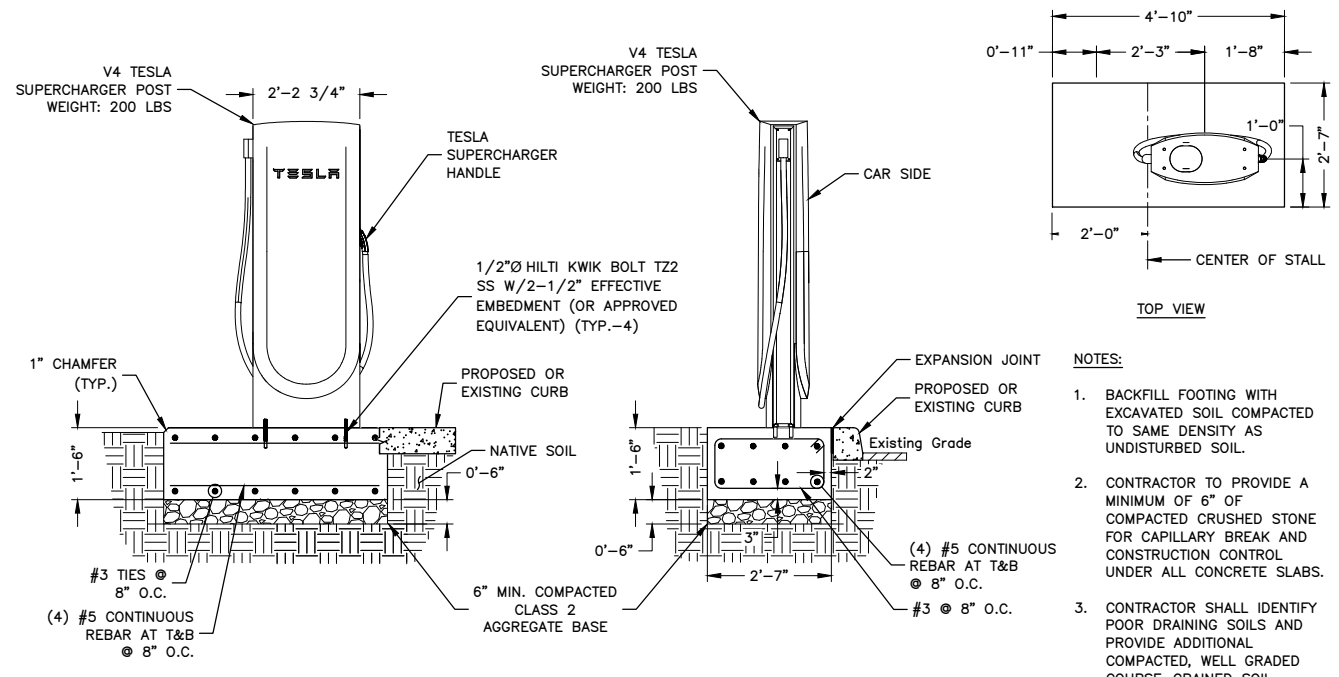
SUBMITTALS		
REV.	DATE	DESCRIPTION
1	05/27/25	SPECIAL USE PERMIT
0	04/02/25	ISSUED FOR PERMITS
A	03/21/25	ISSUED FOR 90% REVIEW

SITE NAME:
GLENWOOD SPRINGS, CO
TRT ID: 403252
JOB ID: JB-816494-00

SITE ADDRESS:
124 W 6TH STREET
GLENWOOD SPRINGS, CO 81601

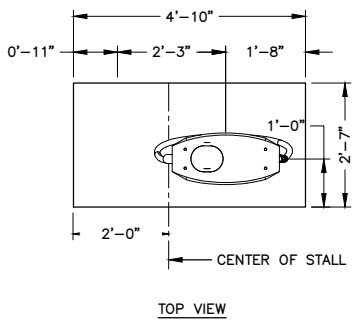
SHEET TITLE
**CONSTRUCTION
DETAILS I**

SHEET NUMBER
C-4

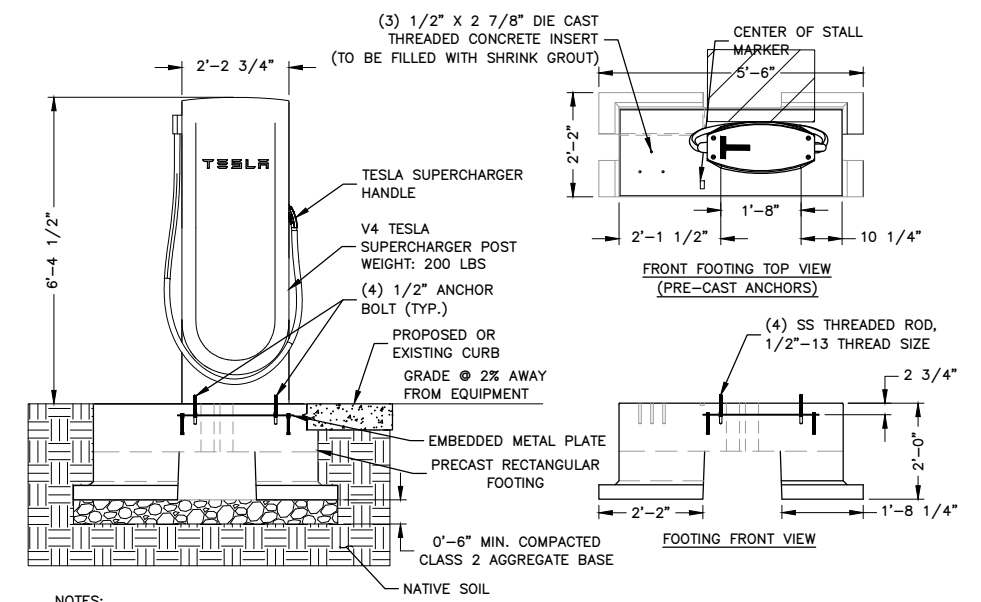


V4 SUPERCHARGER POST CAST-IN-PLACE FOUNDATION DETAIL
SCALE: N.T.S.

1



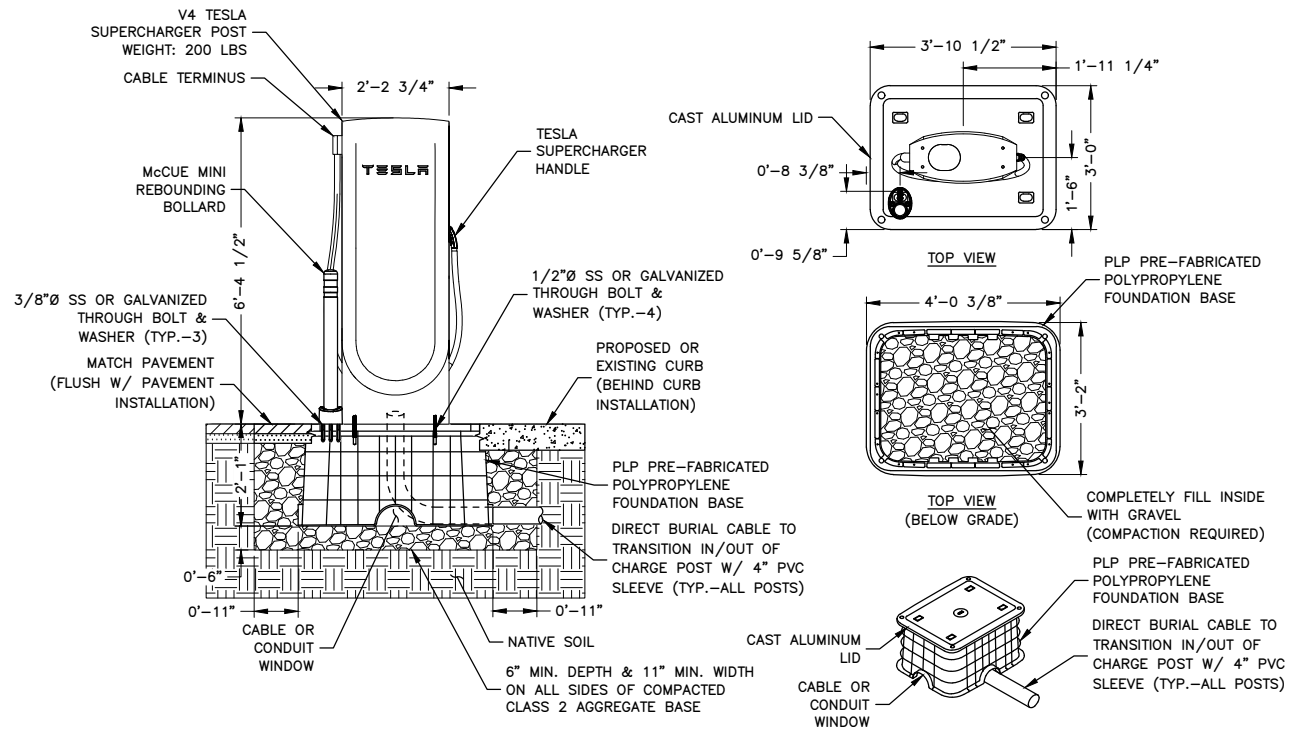
- NOTES:**
- BACKFILL FOOTING WITH EXCAVATED SOIL COMPACTED TO SAME DENSITY AS UNDISTURBED SOIL.
 - CONTRACTOR TO PROVIDE A MINIMUM OF 6" OF COMPACTED CRUSHED STONE FOR CAPILLARY BREAK AND CONSTRUCTION CONTROL UNDER ALL CONCRETE SLABS.
 - CONTRACTOR SHALL IDENTIFY POOR DRAINING SOILS AND PROVIDE ADDITIONAL COMPACTED, WELL GRADED COURSE-GRAINED SOIL BACKFILL TO FROST DEPTH. CONTRACTOR TO NOTIFY TESLA CM AND ENGINEER.



TESLA SUPERCHARGER POST PRECAST FOUNDATION DETAIL
SCALE: N.T.S.

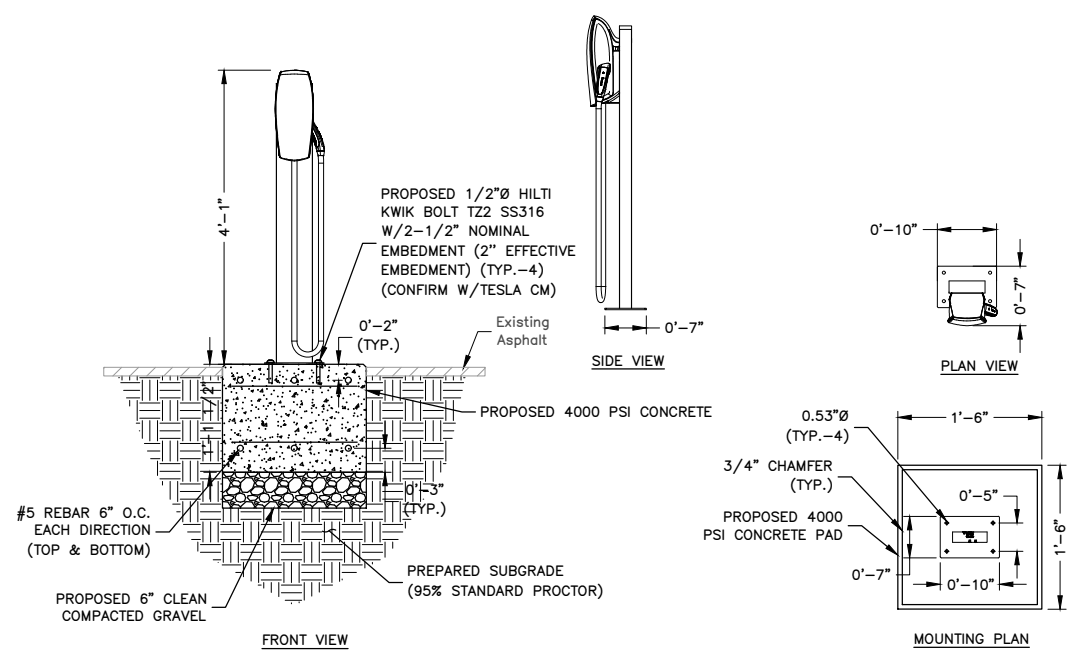
2

- NOTES:**
- PRECAST FOOTING REINFORCED WITH STRUCTURAL FIBER VOLUME: 0.483 CU YDS WEIGHT: 1,990 LBS SEE CUTSHEETS FOR ADDITIONAL INFORMATION
 - S501.1333 SUPERCHARGER POST CENTER ON CENTER PRECAST FOOTING DETAIL RA WIND RATING (WITHOUT SIGN) = 134 MPH WIND RATING (WITH SIGN) = 120 MPH



TESLA SUPERCHARGER POST PLP FOUNDATION DETAIL
SCALE: N.T.S.

3



GEN 3 CONNECTOR - CONCRETE FOOTER DETAIL
SCALE: N.T.S.

4



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DRAWN BY: TK

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PROJECT #: 50123704

JOB #: 50186887

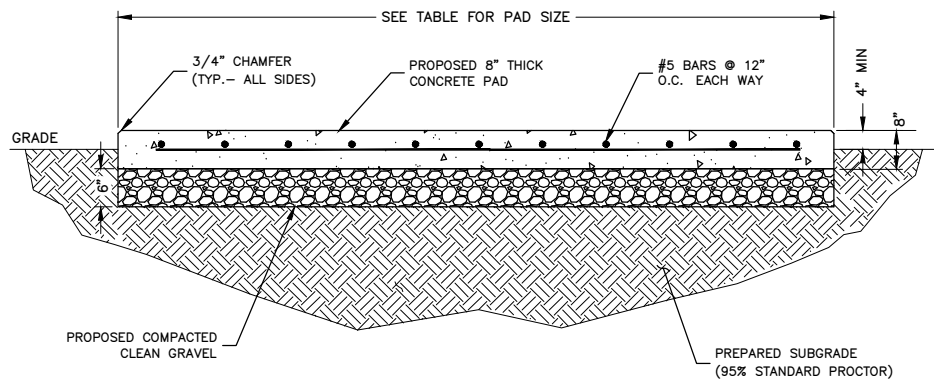
SUBMITTALS		
REV.	DATE	DESCRIPTION
1	05/27/25	SPECIAL USE PERMIT
0	04/02/25	ISSUED FOR PERMITS
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TRT ID: 403252
JOB ID: JB-816494-00

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124 W 6TH STREET
GLENWOOD SPRINGS, CO 81601

SHEET TITLE
CONSTRUCTION
DETAILS II

SHEET NUMBER
C-5



CONCRETE PAD DIMENSIONS					
PAD TYPE	CONCRETE	L	W	t	AREA
SWITCHBOARD	4000 PSI	12'-2"	5'-2"	8"	62.85 S.F.

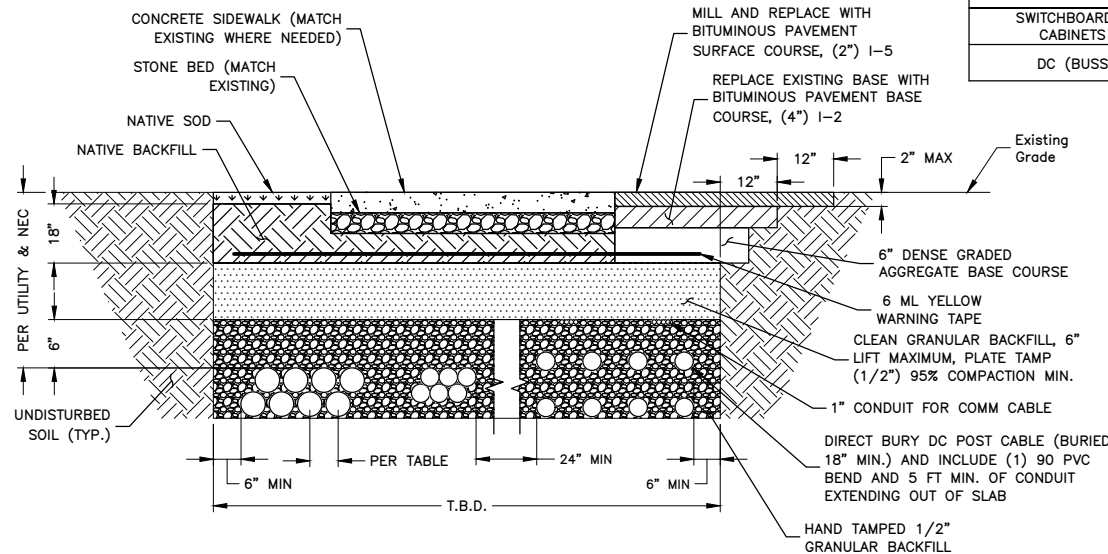
NOTES:

- SEE CONCRETE NOTES ON SHEET GN-2.
- INSTALL FORMS AS NECESSARY.
- COMPACT EXISTING SUBGRADE MATERIAL TO ACHIEVE 95% COMPACTION.
- CONTRACTOR TO PROVIDE A MIN OF 6" OF COMPACTED CRUSHED STONE FOR CAPILLARY BREAK AND CONSTRUCTION CONTROL UNDER ALL CONCRETE SLABS. CONTRACTOR SHALL IDENTIFY POOR DRAINING SOILS AND PROVIDE ADDITIONAL COMPACTED, WELL GRADED COURSE-GRAINED SOIL BACKFILL TO FROST DEPTH. CONTRACTOR TO NOTIFY TESLA CM AND ENGINEER.
- SEE DETAIL 2/C-5 FOR SUPERCHARGER CABINET REINFORCEMENT LAYOUT.
- SWITCHBOARD ANCHORS SHALL BE: 1/2" HILTI KWIK BOLT T22 SS W/ 2-1/2" EFFECTIVE (3" NOMINAL) EMBEDMENT (OR APPROVED EQUIVALENT) (TYP.-4)

CONCRETE PAD DETAIL

SCALE: N.T.S.

1



MINIMUM CENTER TO CENTER CONDUIT SPACING

SWITCHBOARD TO CABINETS	7.5" O.C.
DC (BUSS)	7.5" O.C.

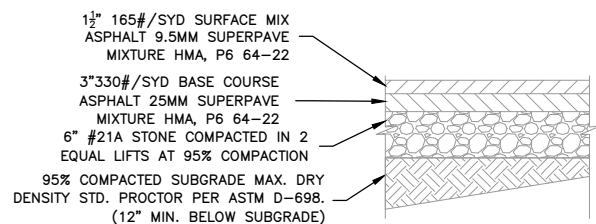
NOTES:

- IF FREE OF ORGANIC OR OTHER DELETERIOUS MATERIAL, EXCAVATED MATERIAL MAY BE USED FOR BACKFILL.
- IF NOT, PROVIDE CLEAN, COMPACTIBLE MATERIAL. COMPACT IN 8" LIFTS. REMOVE ANY LARGE ROCKS PRIOR TO BACKFILLING. CONTRACTOR TO VERIFY LOCATION OF EXISTING U/G UTILITIES PRIOR TO DIGGING.
- CONCRETE ENCASE CONDUIT WHEN TRENCHING UNDER SITE ACCESS ROAD.
- ANY PAVEMENT DAMAGE DURING CONSTRUCTION SHALL BE REPAIRED OR REPLACED BY THE CONTRACTOR TO PRE CONSTRUCTION CONDITIONS OR BETTER.
- MAINTAIN 12" SEPARATION MIN. BETWEEN AC OR DC CONDUCTORS AND COMMUNICATION CABLES.
- MAINTAIN 2" SEPARATION MINIMUM BETWEEN OUTER WALLS OF CONDUITS.
- CONFIRM ALL DEPTHS W/UTILITY & NEC PRIOR TO CONSTRUCTION.
- DIRECT BURIAL SHALL BE EMBEDDED WITH A MINIMUM DEPTH OF FOUR INCHES OF SAND OR FINE COARSE MATERIAL BELOW CABLE, THREE INCH ON THE SIDES, ADDITIONAL FOUR-SIX COVERAGE.
- TRENCH SHALL NOT HAVE ROCKS 3" OR SHARP OBJECTS GREATER IN DIAMETER NEAR OR AROUND DIRECT CABLE INSTALLATION.

TYP. BURIED CONDUIT TRENCH DETAILS

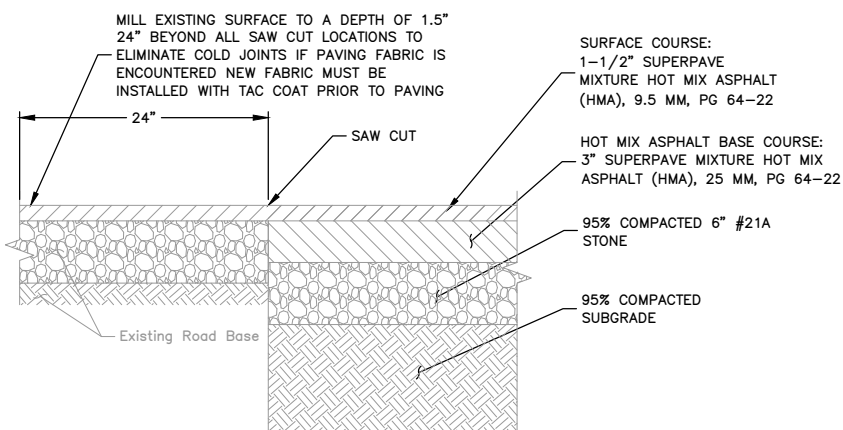
SCALE: N.T.S.

2



ASPHALT PAVEMENT SECTION

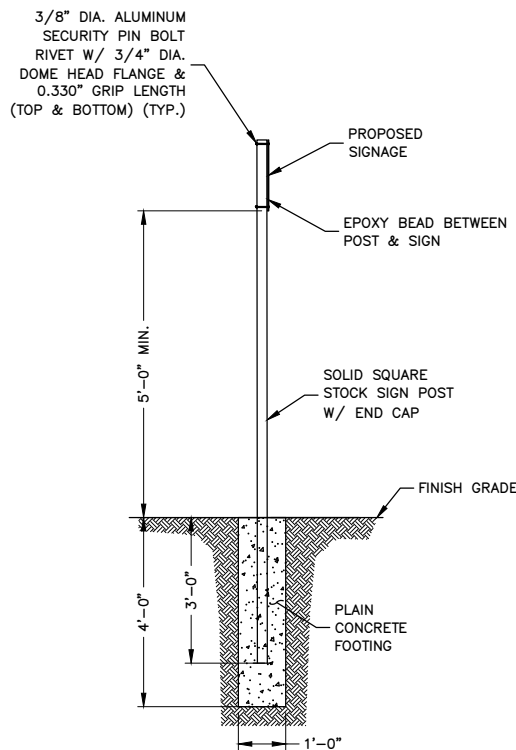
N.T.S.



ASPHALT PAVEMENT REPAIR

SCALE: N.T.S.

3



SQUARE SIGN POST DETAIL

SCALE: N.T.S.

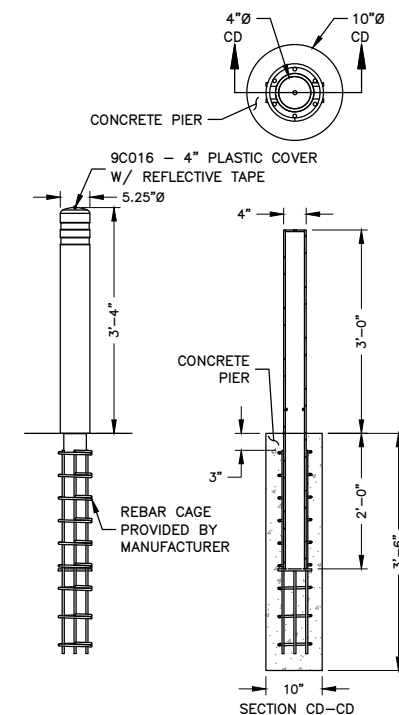
4



TRAILER PRIORITY SIGNAGE

SCALE: N.T.S.

5



McCUE CRASH CORE BOLLARD DETAIL

SCALE: N.T.S.

6



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PALO ALTO, CA 94304
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DRAWN BY: TK

CHECKED BY: BG

APPROVED BY: HWJ

PROJECT #: 50123704

JOB #: 50186887

SUBMITTALS

REV.	DATE	DESCRIPTION
1	05/27/25	SPECIAL USE PERMIT
0	04/02/25	ISSUED FOR PERMITS
A	03/21/25	ISSUED FOR 90% REVIEW

SITE NAME:
GLENWOOD SPRINGS, CO
TRT ID: 403252
JOB ID: JB-816494-00

SITE ADDRESS:
124 W 6TH STREET
GLENWOOD SPRINGS, CO 81601

SHEET TITLE
CONSTRUCTION
DETAILS III

SHEET NUMBER
C-6



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DRAWN BY: TK

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SUBMITTALS

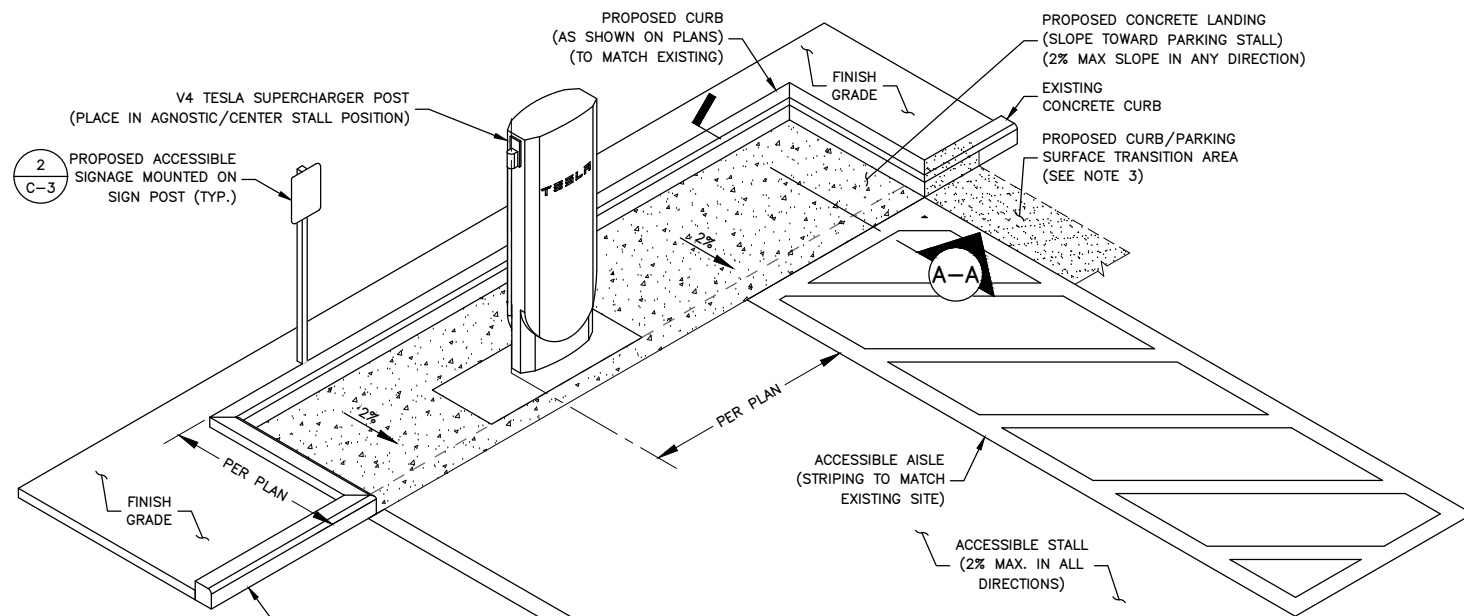
REV.	DATE	DESCRIPTION
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0	04/02/25	ISSUED FOR PERMITS
A	03/21/25	ISSUED FOR 90% REVIEW

SITE NAME:
GLENWOOD SPRINGS, CO
TRT ID: 403252
JOB ID: JB-816494-00

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124 W 6TH STREET
GLENWOOD SPRINGS, CO 81601

SHEET TITLE
**CONSTRUCTION
DETAILS IV**

SHEET NUMBER
C-7

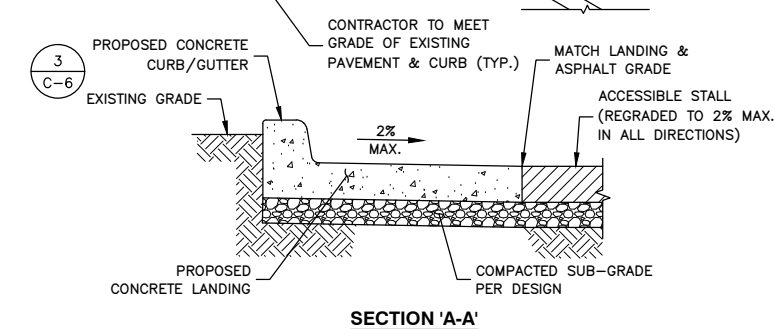


- NOTES:**
- 48" MAX HEIGHT OF SUPERCHARGER HANDLE AT ACCESSIBLE CHARGE POSTS FROM SURFACE OF VEHICULAR WAY.
 - DETAIL IS SCHEMATIC IN NATURE. CONTRACTOR TO REFERENCE PLAN SHEETS FOR ALL SURFACE GRADING, CURB DIMENSIONS, CHARGER LOCATIONS & REFERENCE CONSTRUCTION DETAILS FOR MATERIAL SPECIFICATIONS.
 - CONTRACTOR TO TRANSITION FROM 2% MAX SLOPE WITHIN THE AREA IN FRONT OF ACCESSIBLE STALL(S) & ACCESS AISLE, TO SLOPE OF EXISTING CURB & PARKING AREA ADJACENT TO THE ACCESSIBLE STALL. TRANSITION SHALL BE DONE IN A MANNER THAT MAINTAINS POSITIVE DRAINAGE AND PREVENTS WATER FROM PONDING IN FRONT OF THE ACCESSIBLE STALL(S) AND ACCESS AISLE. TRANSITION OF PARKING AREA SLOPE SHALL OCCUR GRADUALLY TO AVOID PONDING OF ANY WATER OR DRASTIC GRADE CHANGES WITHIN TRANSITION AREA (5% MAXIMUM GRADE).
 - CONTRACTOR TO SAW CUT CURB/GUTTER AS NEEDED PER PLAN & DISPOSE OF DEBRIS PROPERLY.

V4 ACCESSIBILITY LAYOUT DETAIL

SCALE: N.T.S.

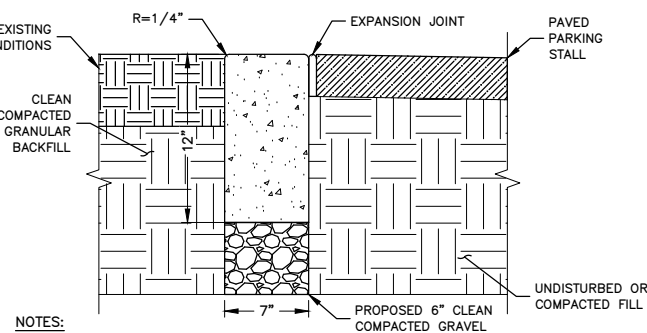
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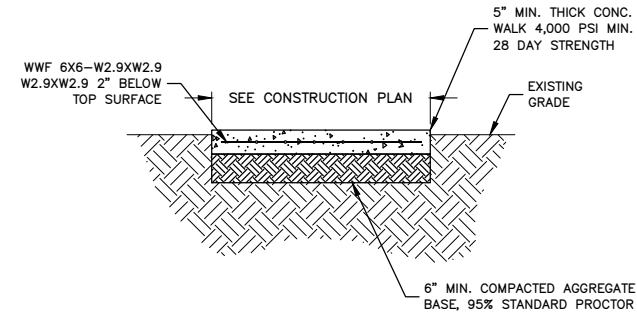
DEPRESSED CURB DETAIL

SCALE: N.T.S.

3



- NOTES:**
- INSTALL FORMS AS NECESSARY.
 - COMPACT EXISTING SUBGRADE MATERIAL TO ACHIEVE 95% COMPACTION.
 - CONCRETE TO BE 4000 PSI AIR ENTRAINED CONCRETE.
 - INSTALL CONTROL JOINTS EVERY 10 LINEAR FEET.



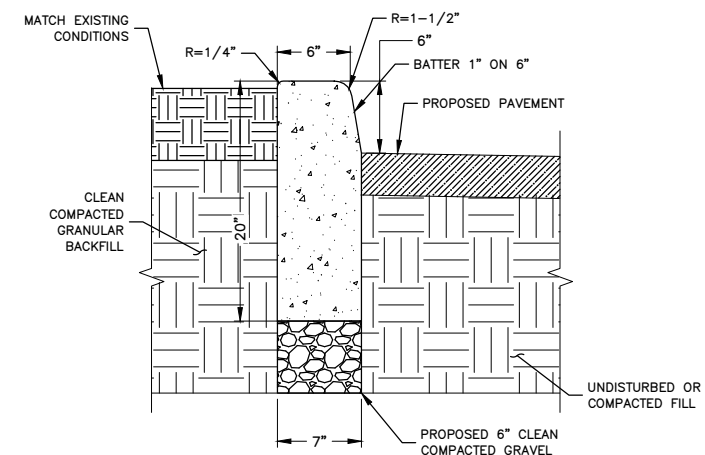
NOTES:

- SAW CUT AREA TO BE REPAIRED/REPLACED. DISPOSE OF DEBRIS PROPERLY OFF SITE.
- INSTALL FORMS AS NECESSARY.
- COMPACT EXISTING SUBGRADE MATERIAL TO ACHIEVE 95% COMPACTION.
- CONCRETE TO BE 4,000 PSI AIR ENTRAINED CONCRETE.
- INSTALL CONTROL JOINTS EVERY 10 LINEAR FEET.

CONCRETE SIDEWALK DETAIL

SCALE: N.T.S.

2



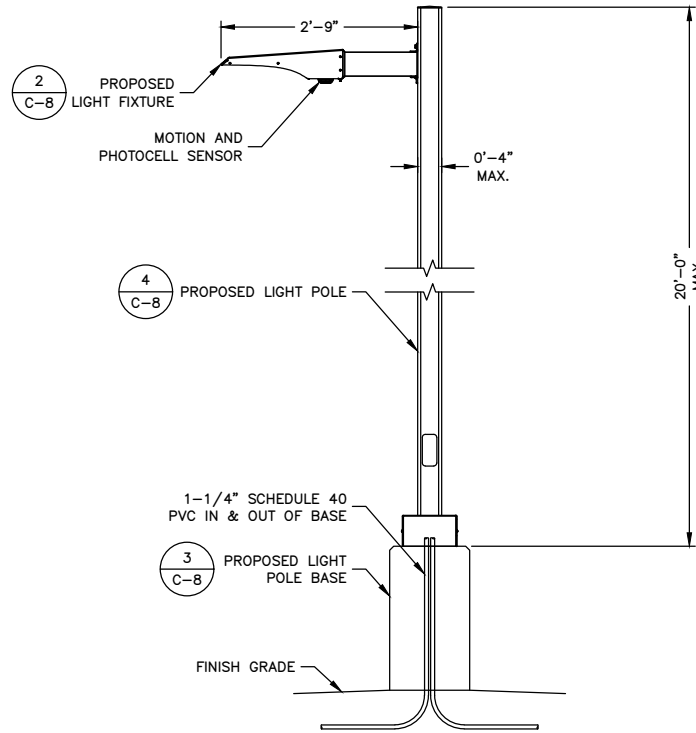
NOTES:

- SAW CUT AREA TO BE REPAIRED/REPLACED. DISPOSE OF DEBRIS PROPERLY OFF SITE.
- INSTALL FORMS AS NECESSARY.
- COMPACT EXISTING SUBGRADE MATERIAL TO ACHIEVE 95% COMPACTION.
- CONCRETE TO BE 4000 PSI AIR ENTRAINED CONCRETE.
- INSTALL CONTROL JOINTS EVERY 10 LINEAR FEET.

CONCRETE CURB DETAIL

SCALE: N.T.S.

4



LIGHT POLE & ACCESSORIES DETAIL
SCALE: N.T.S.

WILL WISCONSIN LIGHTING

NAFCO® SLX SLIM LED LIGHTING

Designed, engineered, and manufactured in Wisconsin, USA from premium domestic and imported components

Performance coatings and custom color matching of RAL codes and architectural colors

ISO files, photometric reports, and lighting simulations available from factory design team

Proprietary heat sink design with low drive current resulting in reported L90 LED life over 100,000 hours

Toolless driver access for technology upgrades and maintenance

Flexible mounting options with custom adapters available

Applications

- Area, site, and flood lighting
- Roadways and streets
- Parking lots, ramps, and walkways
- Car dealerships, schools, and hospitals
- Hotels and gas stations
- Retail stores and commercial buildings
- Outdoor sports facilities including tennis courts
- Amber and turtle applications

Construction & Finish

- Rugged aluminum chassis with excellent heat/impact resistance and hinged electrical access
- Architectural grade powder coat enclosure and black anodized heat sink
- High-grade stainless steel hardware for superior strength and corrosion resistance
- Driver components are fully encased in potting material for moisture and vibration resistance

Light Poles & Arms

- WILL offers one of the most comprehensive light pole, bracket, and arm catalogs in the industry
- Aluminum, steel, fiberglass, and concrete materials
- Straight, tapered, and decorative designs
- Custom fabrication, finishing, and accessories available
- Dedicated light pole application support team

Area & Flood

EPA Chart

Beam Model	W' x H'	40' Tilt	45' Tilt	50' Tilt
NF-SLS	5.0	1.0	0.1	0.1
NF-SLS	5.0	1.0	0.1	0.1
NF-SLS	5.7	1.0	0.1	0.1

Specifications & Typical Lumen Output (WHITE LED)

Beam Model	Height (ft)	Spans (ft)	Engage Qty	Drive Current (A)	Typical HPS Replacement
NF-SLS-05	15	44	1	0.475	100-100W
NF-SLS-100	15	96	1	1.000	150-250W
NF-SLS-148	18	108	2	0.600	200-400W
NF-SLS-191	18	180	3	0.700	300-400W
NF-SLS-210	18	207	4	0.625	400-700W
NF-SLS-230	18	231	6	0.475	700W
NF-SLS-250	22	250	8	0.475	700-1000W

Compliance & Warranty

- ETL Certification for UL STD 1598 & CSA STD C22.2 # 250.0 for wet locations
- Meets Buy American Act requirements
- Standard 5-year limited warranty with extended factory warranties available
- Turtle and wildlife compliance options (consult factory)
- Vandal resistant and tested to IK08 standards

Light Engine & Electrical

- Premium tier 1 LED chips for extreme efficiency and high-quality color rendering for a broad range of applications
- Optical assembly constructed of UV stabilized polycarbonate with silicone resin
- 40°C to +40°C ambient operating temperature
- Standard AC input voltage of 120-277V 50/60 Hz up to 480V available
- Isolated 0-10V/PWM/3-timer modes dimmable and dim-to-off with standby power < 0.5W
- Power factor of 0.90 min
- Total harmonic distortion of 20% max
- Drivers include integral input surge protection of Differential Mode 6kV, Common Mode 10kV per EN 61000-4-5
- Thermally protected secondary 10kA surge suppression available (optional)
- Always-on auxiliary power: 12VDC, 250mA (optional)
- Local specifying engineer recommended for product selection and local compliance
- Licensed electrician required for installation

Control Options

- Integral passive infrared (PIR) sensor for motion, photo, dimming, and daylight harvesting control
- Wireless mesh system for large-scale control of zones, dimming, schedules, and sensors
- DMX control options available from factory

Area & Flood

Dimensional Diagrams

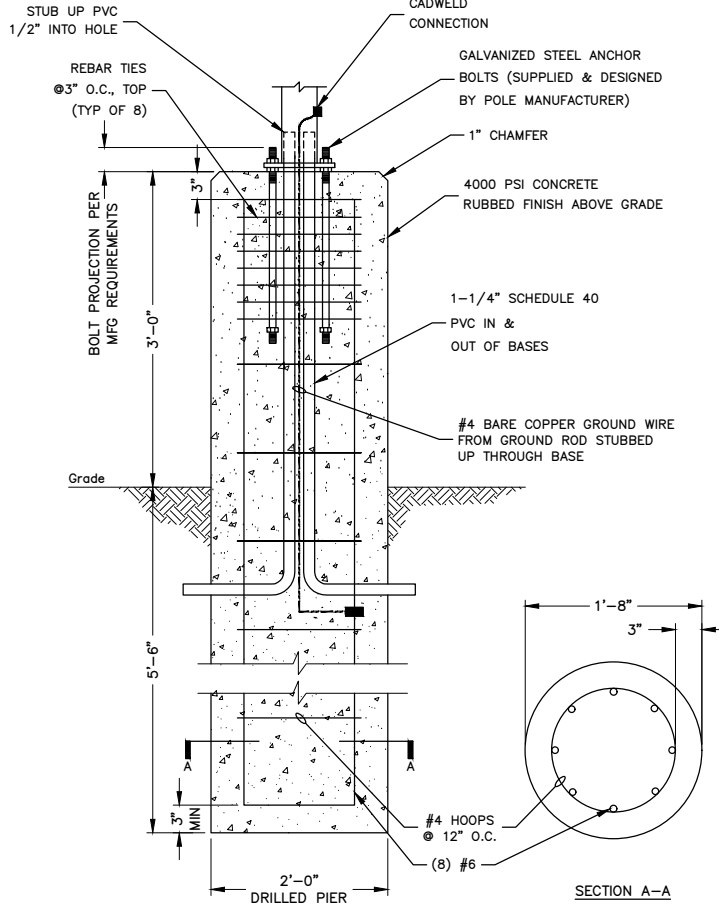
Area/Flood Light Wall Bracket

Tennis Davit Adapter

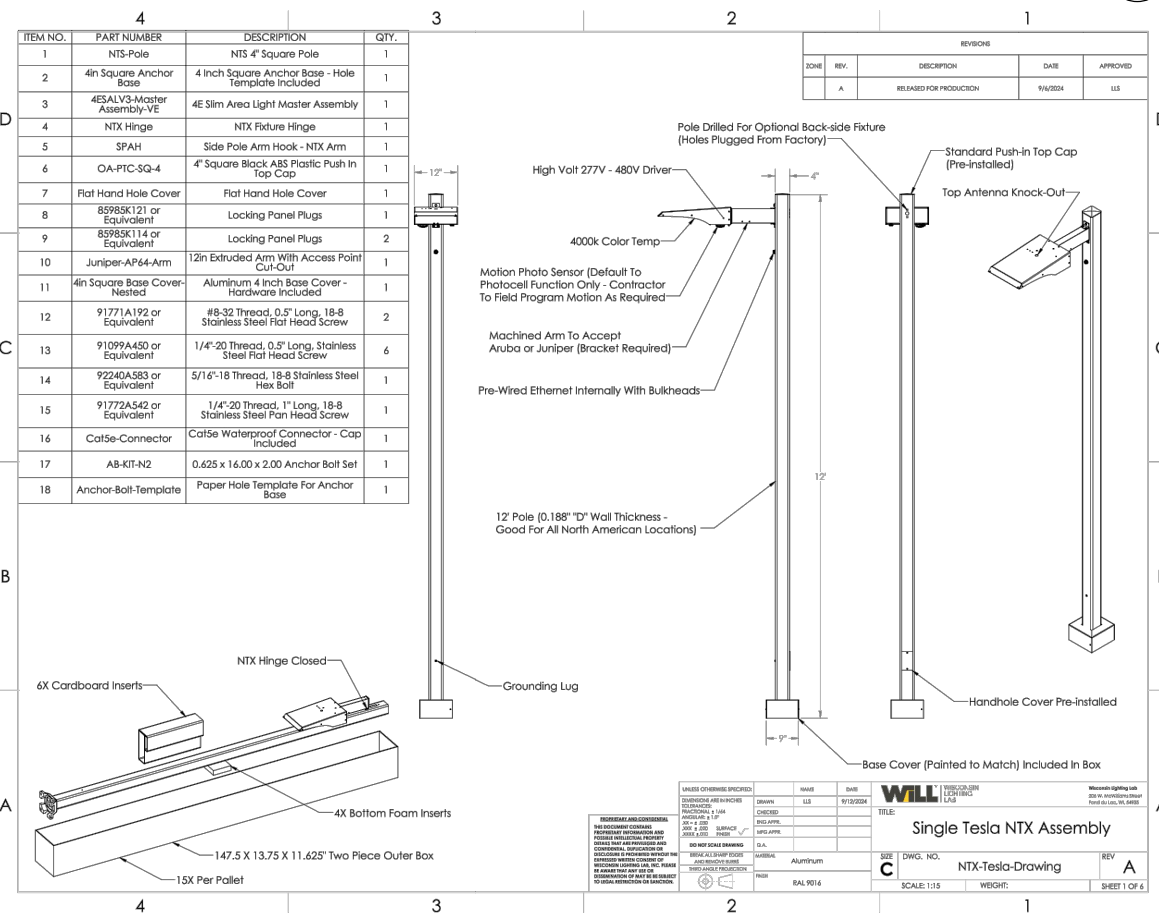
House Side Shield

ORDER INFORMATION:
PRODUCT ID: NF-SLS-100-40-HV-3W-RAL-MPS

LIGHT FIXTURE DETAIL
SCALE: N.T.S.

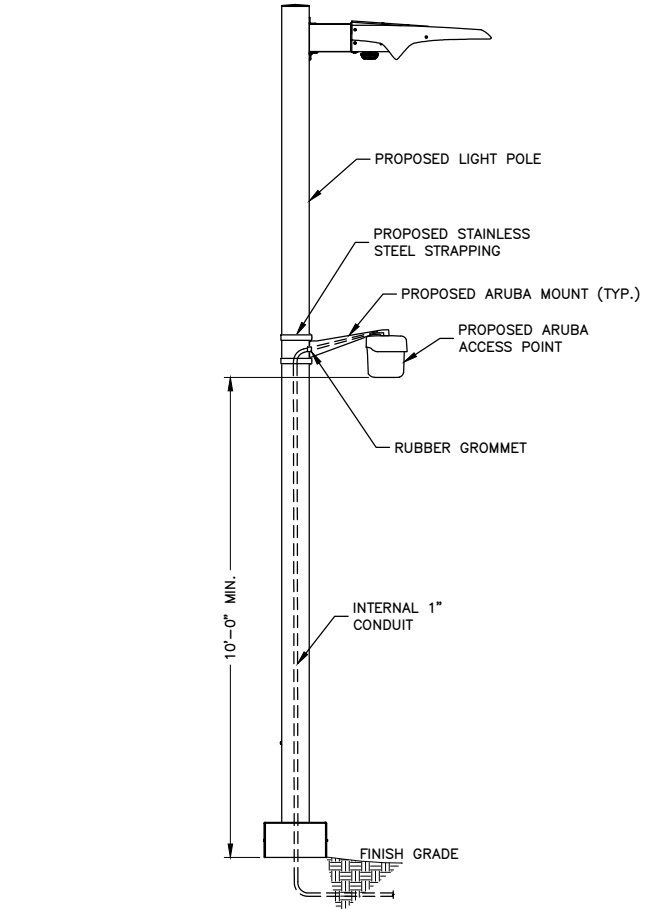


PEDESTRIAN LIGHT POLE BASE DETAIL
SCALE: N.T.S.



ORDER INFORMATION:
TPN: 2136148-00-A LIGHT FIXTURE ASSEMBLY-WLL-NTX

LIGHT POLE DETAIL
SCALE: N.T.S.



ARUBA ACCESS POINT MOUNTING DETAIL
SCALE: N.T.S.

TESLA

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(650) 681-5000

Dewberry

Dewberry Engineers Inc.
990 S. BROADWAY
SUITE 400
DENVER, CO 80209
PHONE: 303.825.1802

PROFESSIONAL ENGINEER
No. 61870
COLORADO LICENSED

DRAWN BY: TK

CHECKED BY: BG

APPROVED BY: HWJ

PROJECT #: 50123704

JOB #: 50186887

SUBMITTALS

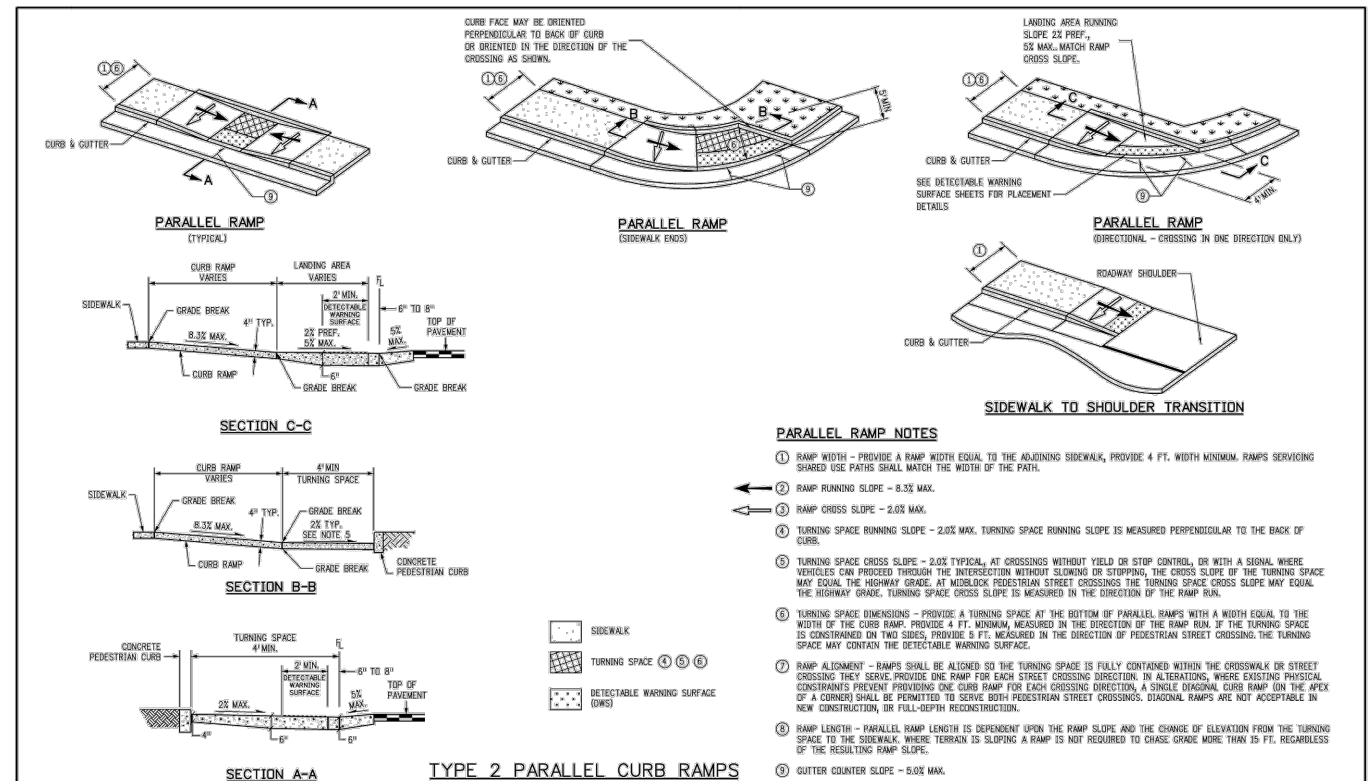
REV.	DATE	DESCRIPTION
1	05/27/25	SPECIAL USE PERMIT
0	04/02/25	ISSUED FOR PERMITS
A	03/21/25	ISSUED FOR 90% REVIEW

SITE NAME:
GLENWOOD SPRINGS, CO
TRT ID: 403252
JOB ID: JB-816494-00

SITE ADDRESS:
124 W 6TH STREET
GLENWOOD SPRINGS, CO 81601

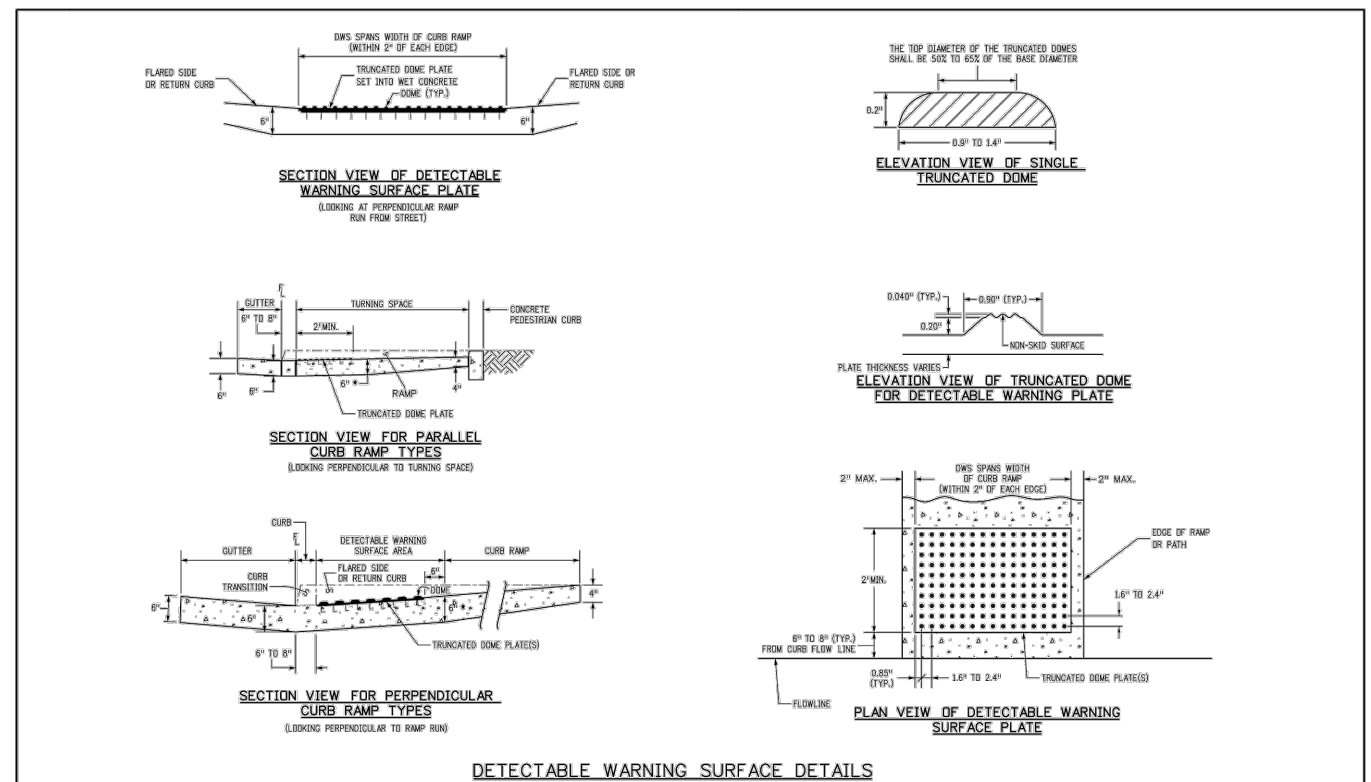
SHEET TITLE
CONSTRUCTION
DETAILS V

SHEET NUMBER
C-8



- PARALLEL RAMP NOTES**
- 1 RAMP WIDTH - PROVIDE A RAMP WIDTH EQUAL TO THE ADJOINING SIDEWALK, PROVIDE 4 FT. WIDTH MINIMUM. RAMPS SERVICING SHARED USE PATHS SHALL MATCH THE WIDTH OF THE PATH.
 - 2 RAMP RUNNING SLOPE - 8.3% MAX.
 - 3 RAMP CROSS SLOPE - 2.0% MAX.
 - 4 TURNING SPACE RUNNING SLOPE - 2.0% MAX. TURNING SPACE RUNNING SLOPE IS MEASURED PERPENDICULAR TO THE BACK OF CURB.
 - 5 TURNING SPACE CROSS SLOPE - 2.0% TYPICAL. AT CROSSINGS WITHOUT YIELD OR STOP CONTROL, OR WITH A SIGNAL WHERE VEHICLES CAN PROCEED THROUGH THE INTERSECTION WITHOUT SLOWING OR STOPPING, THE CROSS SLOPE OF THE TURNING SPACE MAY EQUAL THE HIGHWAY GRADE. AT MIDBLOCK PEDESTRIAN STREET CROSSINGS THE TURNING SPACE CROSS SLOPE MAY EQUAL THE HIGHWAY GRADE. TURNING SPACE CROSS SLOPE IS MEASURED IN THE DIRECTION OF THE RAMP RUN.
 - 6 TURNING SPACE DIMENSIONS - PROVIDE A TURNING SPACE AT THE BOTTOM OF PARALLEL RAMPS WITH A WIDTH EQUAL TO THE WIDTH OF THE CURB RAMP. PROVIDE 4 FT. MINIMUM, MEASURED IN THE DIRECTION OF THE RAMP RUN. IF THE TURNING SPACE IS CONSTRAINED ON TWO SIDES, PROVIDE 8 FT. MEASURED IN THE DIRECTION OF PEDESTRIAN STREET CROSSING. THE TURNING SPACE MAY CONTAIN THE DETECTABLE WARNING SURFACE.
 - 7 RAMP ALIGNMENT - RAMPS SHALL BE ALIGNED SO THE TURNING SPACE IS FULLY CONTAINED WITHIN THE CROSSWALK OR STREET CROSSING THEY SERVE. PROVIDE ONE RAMP FOR EACH STREET CROSSING DIRECTION. IN ALTERATIONS, WHERE EXISTING PHYSICAL CONSTRAINTS PREVENT PROVIDING ONE CURB RAMP FOR EACH CROSSING DIRECTION, A SINGLE DIAGONAL CURB RAMP (ON THE APPEX OF A CORNER) SHALL BE PERMITTED TO SERVE BOTH PEDESTRIAN STREET CROSSINGS. DIAGONAL RAMPS ARE NOT ACCEPTABLE IN NEW CONSTRUCTION, OR FULL-DEPTH RECONSTRUCTION.
 - 8 RAMP LENGTH - PARALLEL RAMP LENGTH IS DEPENDENT UPON THE RAMP SLOPE AND THE CHANGE OF ELEVATION FROM THE TURNING SPACE TO THE SIDEWALK. WHERE TERRAIN IS SLOPING A RAMP IS NOT REQUIRED TO CHASE GRADE MORE THAN 15 FT. REGARDLESS OF THE RESULTING RAMP SLOPE.
 - 9 GUTTER COUNTER SLOPE - 5.0% MAX.

Computer File Information		Sheet Revisions		Colorado Department of Transportation 2829 West Howard Place CDOT HQ, 3rd Floor Denver, CO 80204 Phone: 303-757-9021 FAX: 303-757-9868 Project Development Branch	STANDARD PLAN NO. M-608-1 Standard Sheet No. 4 of 10
Creation Date: 07/31/19	Designer Initials: JKB	Date:	Comments:		
Last Modification Date: 07/31/19	Detailer Initials: LTA				
CAD Ver.: MicroStation V8	Scale: Not to Scale	Units: English			



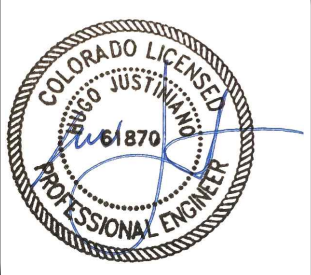
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SHEET TITLE
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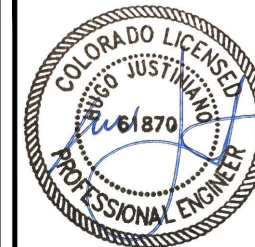
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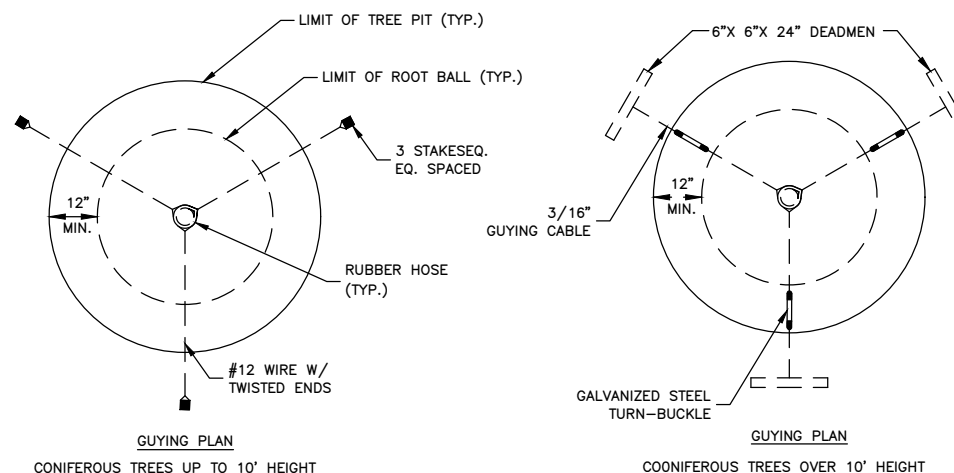
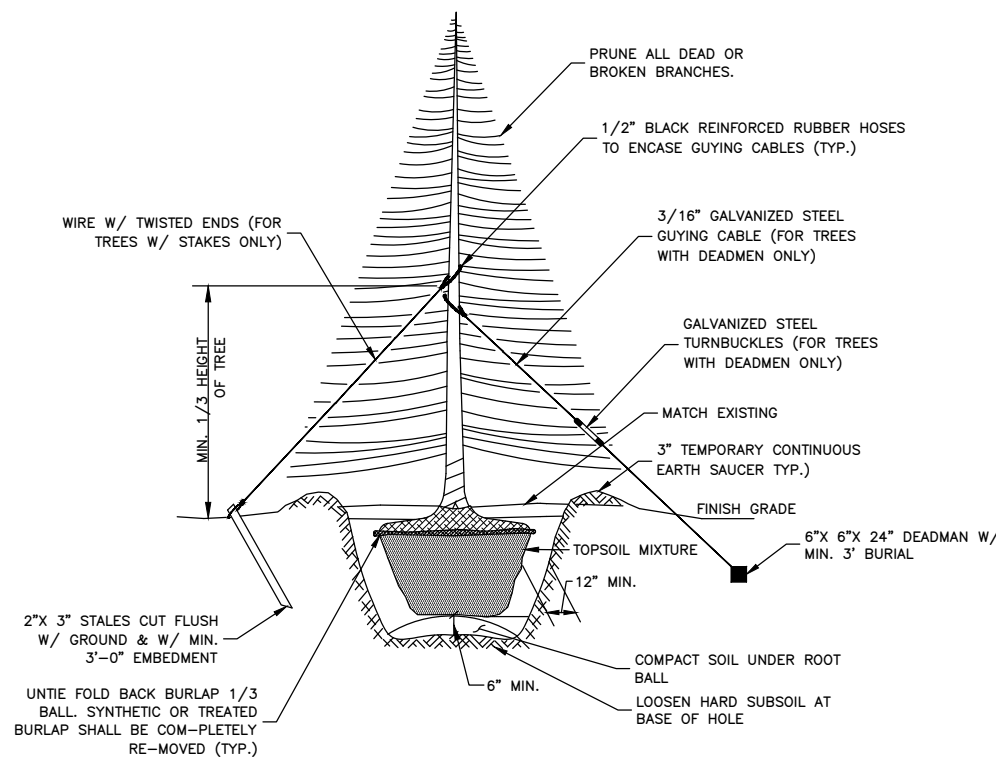
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LANDSCAPE DETAILS

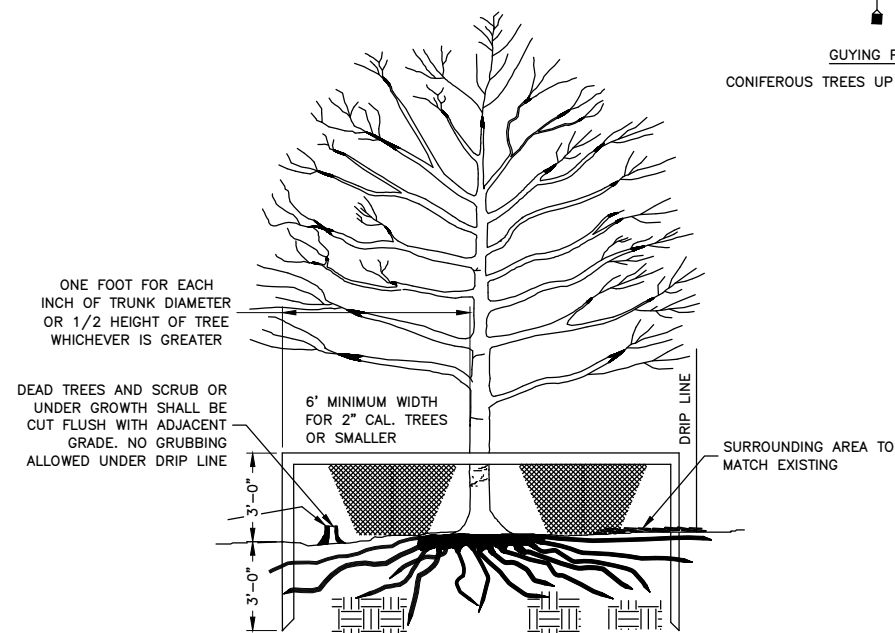
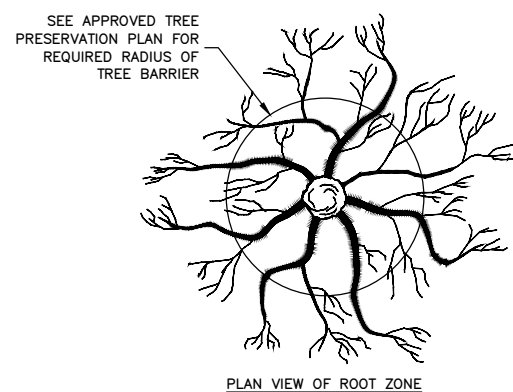
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C-10



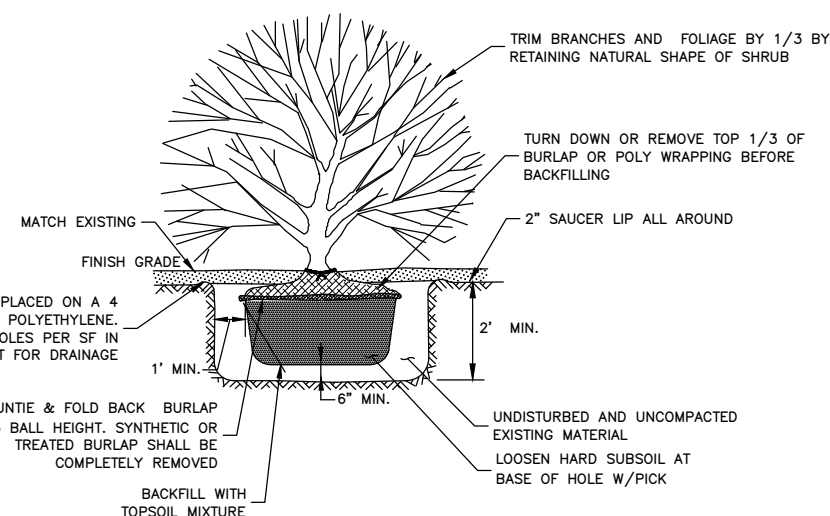
EVERGREEN PLANTING

SCALE: N.T.S.



TREE PROTECTION DETAIL

SCALE: N.T.S.



SHRUB PLANTING DETAIL

SCALE: N.T.S.